

**REQUEST FOR COMMITTEE ACTION**  
**HENDERSON COUNTY**  
**TECHNICAL REVIEW COMMITTEE**

**MEETING: October 3, 2023**

**SUBJECT: Major Site Plan Review for BRCC Greenhouse**

**PRESENTER: Matt Champion, Zoning Administrator**

**ATTACHMENTS: Staff Report**

**SUMMARY OF REQUEST: Staff requests that the TRC review and take the appropriate action on the application.**

**Suggested Motion: I move that the TRC approve/deny the major site plan for BRCC Greenhouse**



# Henderson County, North Carolina Code Enforcement Services

## 1. Committee Request

- 1.1. **Applicant:** Blue Ridge Community College
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PINs:** 9578-84-9073
- 1.4. **Size:** 83.09 acres +/-
- 1.5. **Location:** The subject area is located near 245 E Campus Dr off College Dr (SR 1920).
- 1.6. **Supplemental Requirements:**

### SR 5.7. College or University

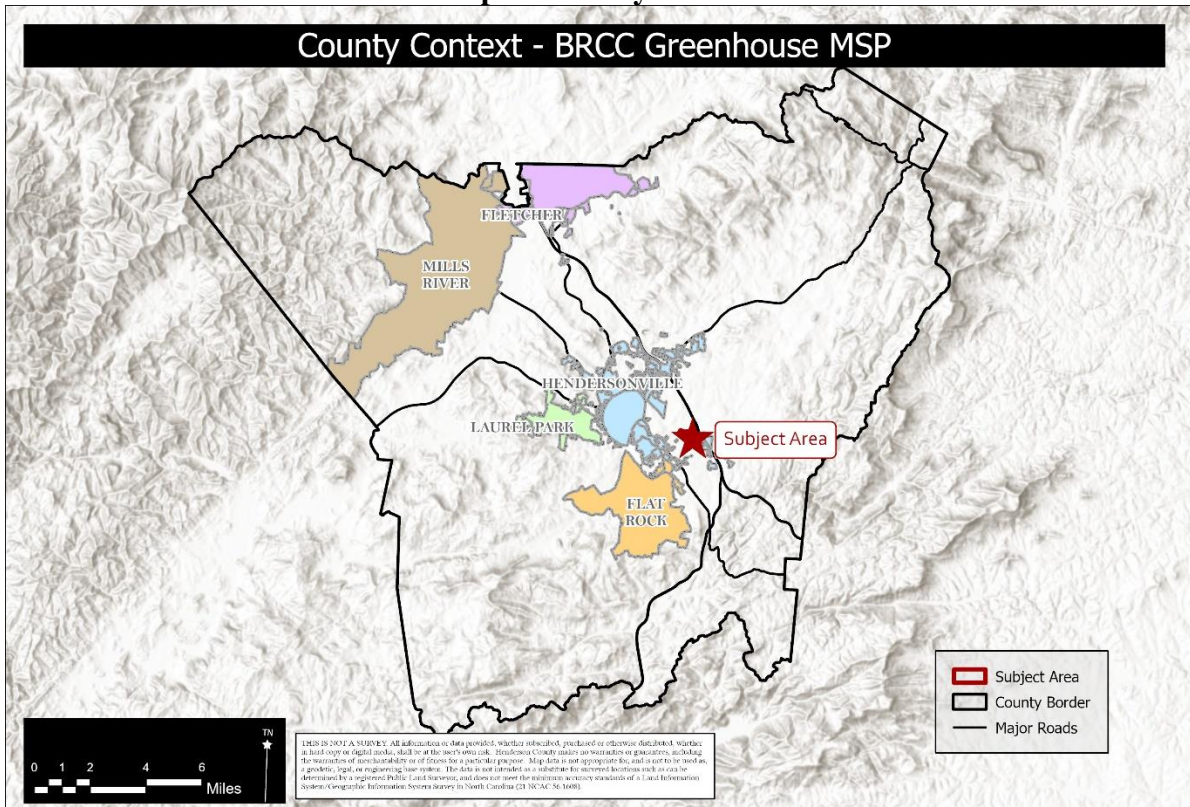
- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Lighting mitigation* required.

### SR 3.8. Greenhouse

- (1) Best management practices for managing irrigation runoff are encouraged. The nutrient level in *stormwater runoff* should be no higher than pre-development levels.

**Greenhouse.** An enclosed *structure* with transparent or translucent roof and/or wall panels and devoted to the cultivation and protection of plants out of season or climate.

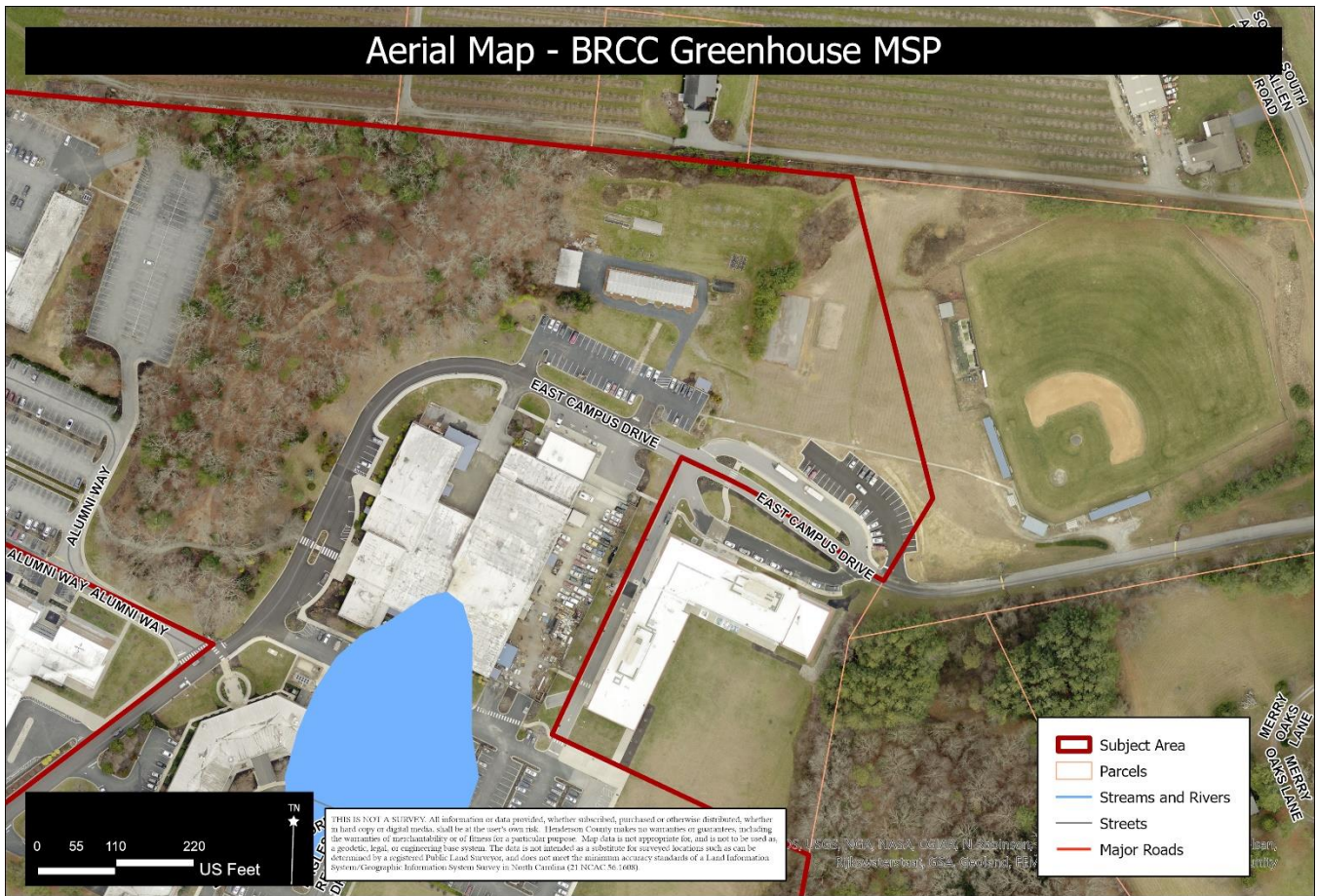
Map A: County Context



Property Owner: Blue Ridge Community College Applicant: WGLA  
 Assessed Acreage: 83.09 Acres PIN: 9578-84-9073  
 Current Zoning: Office and Institutional (O&I)



**Map B: Aerial Map**



Property Owner: Blue Ridge Community College Applicant: WGLA  
 Assessed Acreage: 83.09 Acres PIN: 9578-84-9073  
 Current Zoning: Office and Institutional (O&I)



**2. Current Conditions**

**2.1 Current Use:** Overall, the subject area is currently used for educational purposes. The portion of the subject area considered as part of this application, contains an existing greenhouse and two separate parking areas for BRCC.

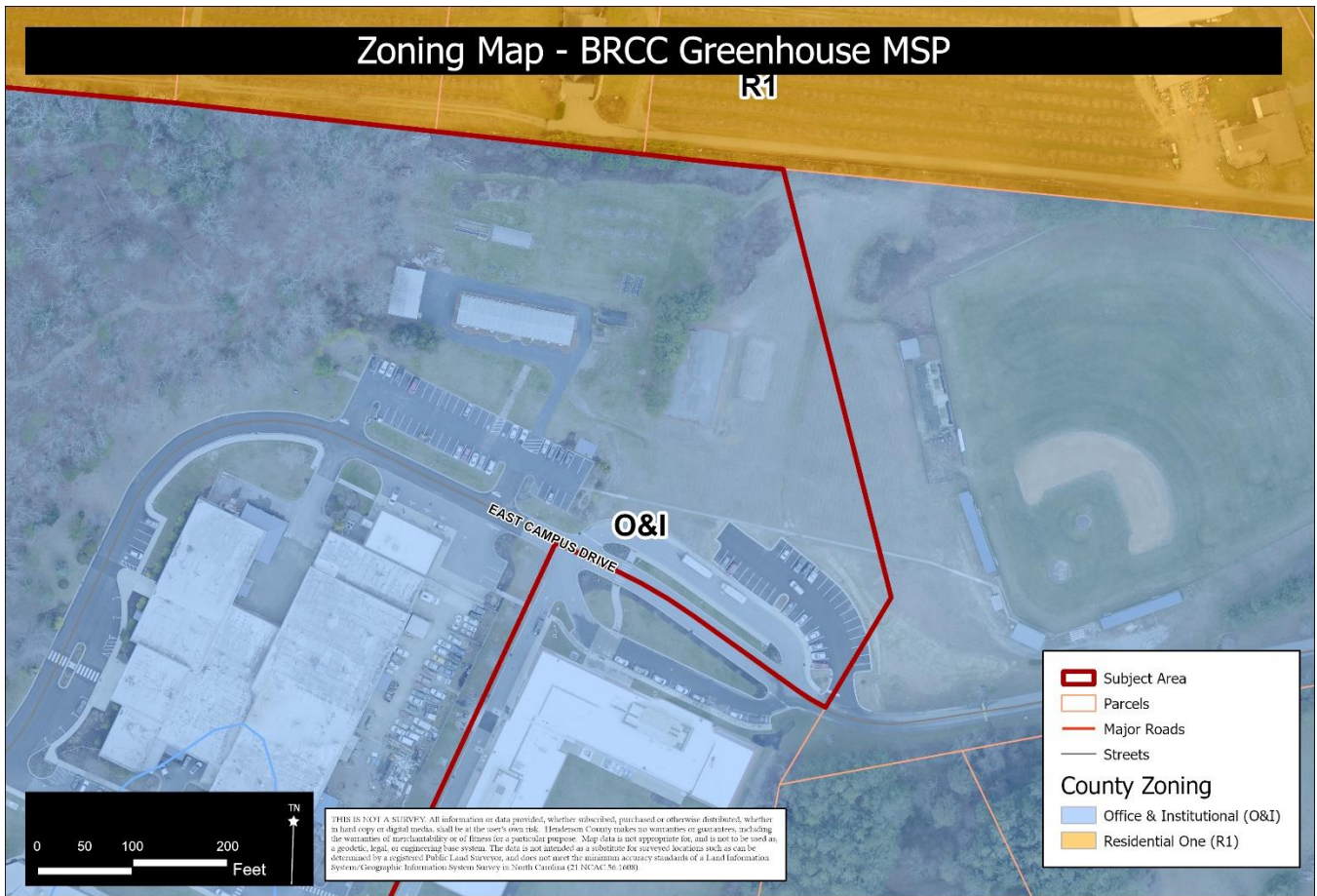
**2.2 Adjacent Area Uses:** The surrounding properties consist of residential and agricultural uses. Henderson County Early College building is located directly south of the subject area.

**3. Current Zoning**

- 3.1. **Subject Area Zoning:** The subject area and the rest of the BRCC campus is zoned Office and Institutional (O&I) by Henderson County.
- 3.2. **Adjacent Area Zoning:** The surrounding properties to the north, west, and south are zoned Residential One (R1). Office and Institutional (O&I) zoning is found east of the subject area.
  - 3.2.1. **Office Institutional (OI):** The purpose of the Office Institutional District (OI) is to foster orderly growth where the principal use of land is a mixture of office, institutional, and residential. The intent of this district is to allow for office, institutional and residential development consistent with the recommendations of the Comprehensive Plan. In accordance with the Comprehensive Plan, the district will allow for and provide office, institutional, and residential development that: (1) is

directed largely to Community Service Centers as defined in the Comprehensive Plan; (2) is compatible with adjacent development and the surrounding community; and (3) will minimize congestion and sprawl. (LDC §42-32)

**Map C: Current Zoning**

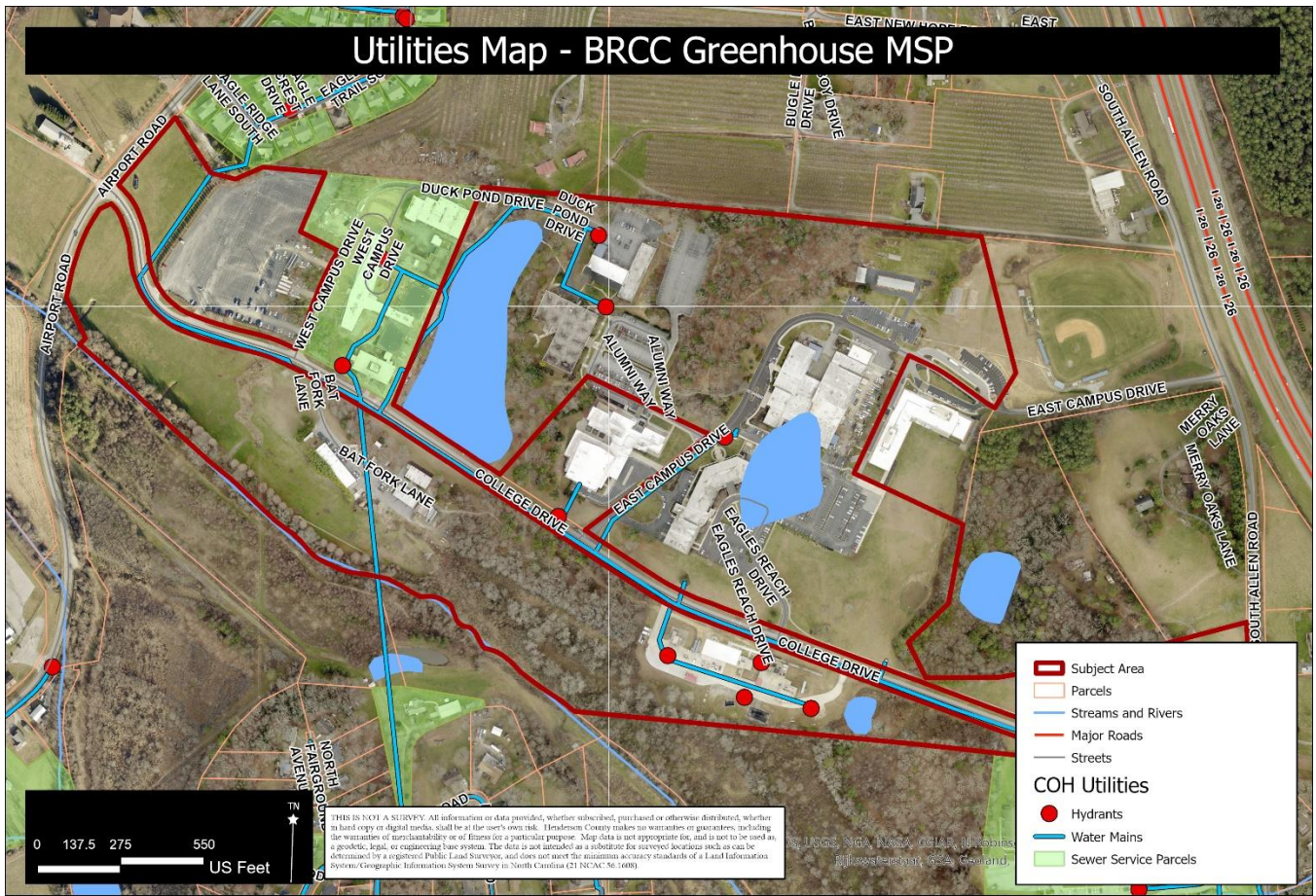


Property Owner: Blue Ridge Community College Applicant: WGLA  
 Assessed Acreage: 83.09 Acres PIN: 9578-84-9073  
 Current Zoning: Office and Institutional (O&I)



- Floodplain/Watershed Protection** The portion of the subject area included in this application is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

Map D: Utilities Map



Property Owner: Blue Ridge Community College Applicant: WGLA  
 Assessed Acreage: 83.09 Acres PIN: 9578-84-9073  
 Current Zoning: Office and Institutional (O&I)

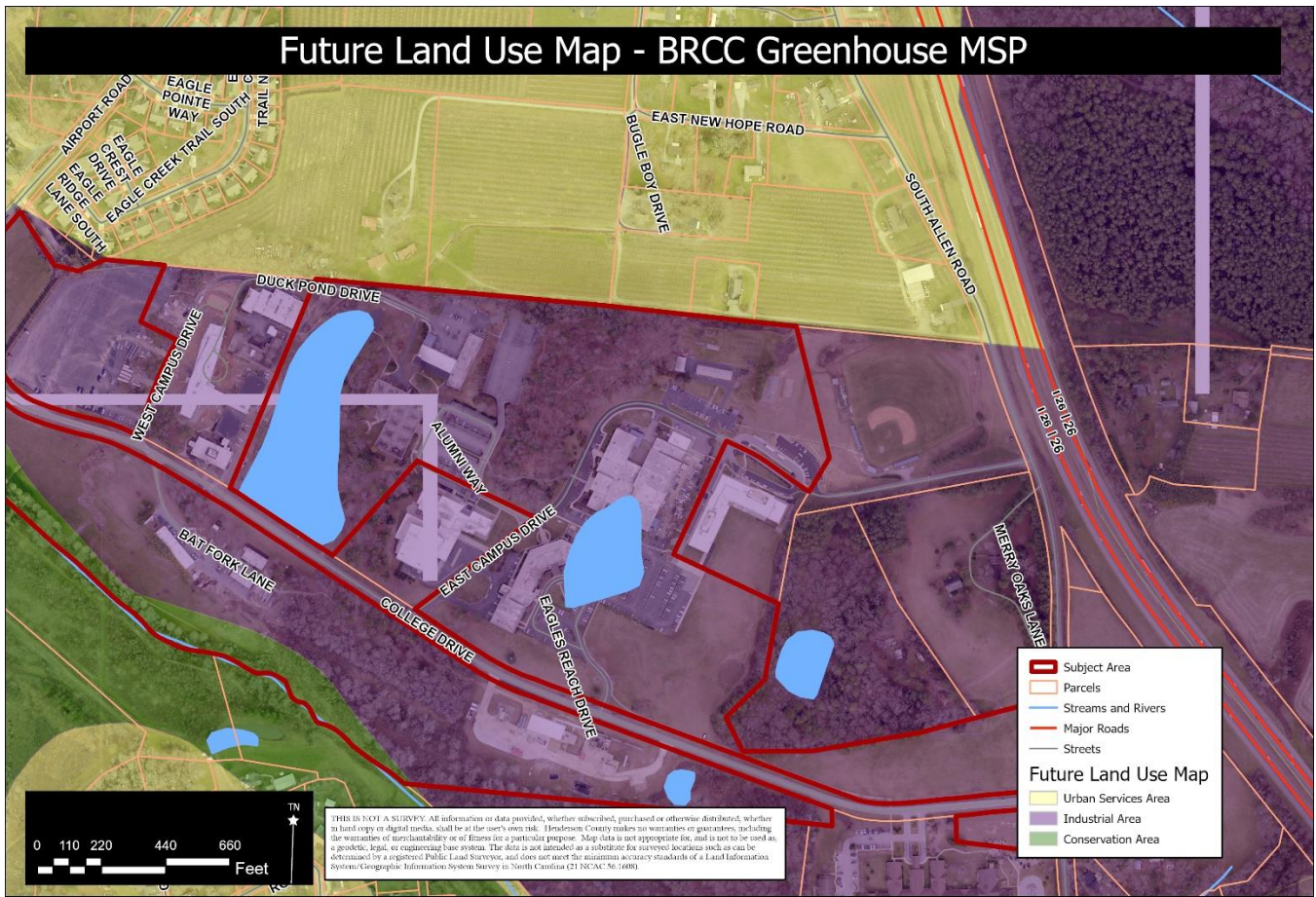


5. **Water and Sewer** The property is and will continue to be served by public utilities. The applicant has provided an estimated water demand calculation for the new structure.

**Public Water:** City of Hendersonville

**Public Sewer:** City of Hendersonville

**Map E: CCP Future Land Use Map**



Property Owner: Blue Ridge Community College Applicant: WGLA  
 Assessed Acreage: 83.09 Acres PIN: 9578-84-9073  
 Current Zoning: Office and Institutional (O&I)



**6. Staff Comments**

**Henderson County Comprehensive Plan (CCP):** The CCP Future Land Use Map places the Subject Area in the Urban Services Area classification and within an area of Industrial future land use.

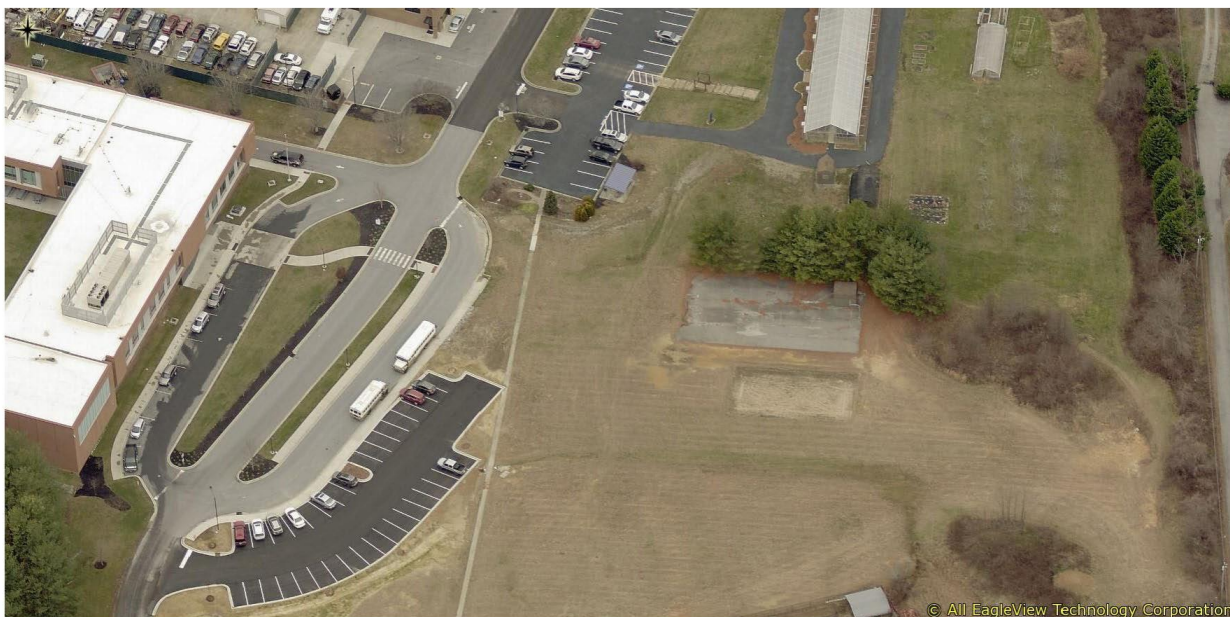
- a. **Industrial:** “Parcels containing facilities wherein raw or pre-processed resources, materials, substances, or components are mechanically, physically, chemically, or otherwise transformed into new products; waste materials are collected, treated, or disposed of; subsurface natural resources are extracted and/or processed; Livestock, cargo, merchandise, materials or hazardous substances are transferred, stored or warehoused for wholesale or other distribution; passengers or passenger vehicles are collected or transferred; water, fuel, or electricity is produced, processed, stored, transferred or transmitted.” (CCP, Appendix IV pg. 12)

**7. Proposal** The applicant is proposing to construct a new 4,477SQFT greenhouse and a 748SQFT headhouse. The proposed headhouse will contain a restroom and storage. The proposed greenhouse will be accessible through both ends of the structure. The site will have pedestrian access by way of a new walkway connecting to an existing sidewalk near E Campus Dr. The existing greenhouse and volleyball court will remain and not be impacted by this project. The total area of disturbance is shown as 0.58 acres. The major site plan shows the site being gated during construction.

8. **Landscaping & Buffering Requirements** The subject area is required to buffer the perimeter of the property to be developed since the surrounding properties fall within the Residential One (R1) zoning district. The subject area will not be required to install any new vegetation since there is enough existing vegetation to accommodate the buffer requirements. If the vegetation is removed along the northern property line, the applicant will be required to install a B1 Buffer

9. **Oblique Aerial Photos**

**View from East**



**View from North**

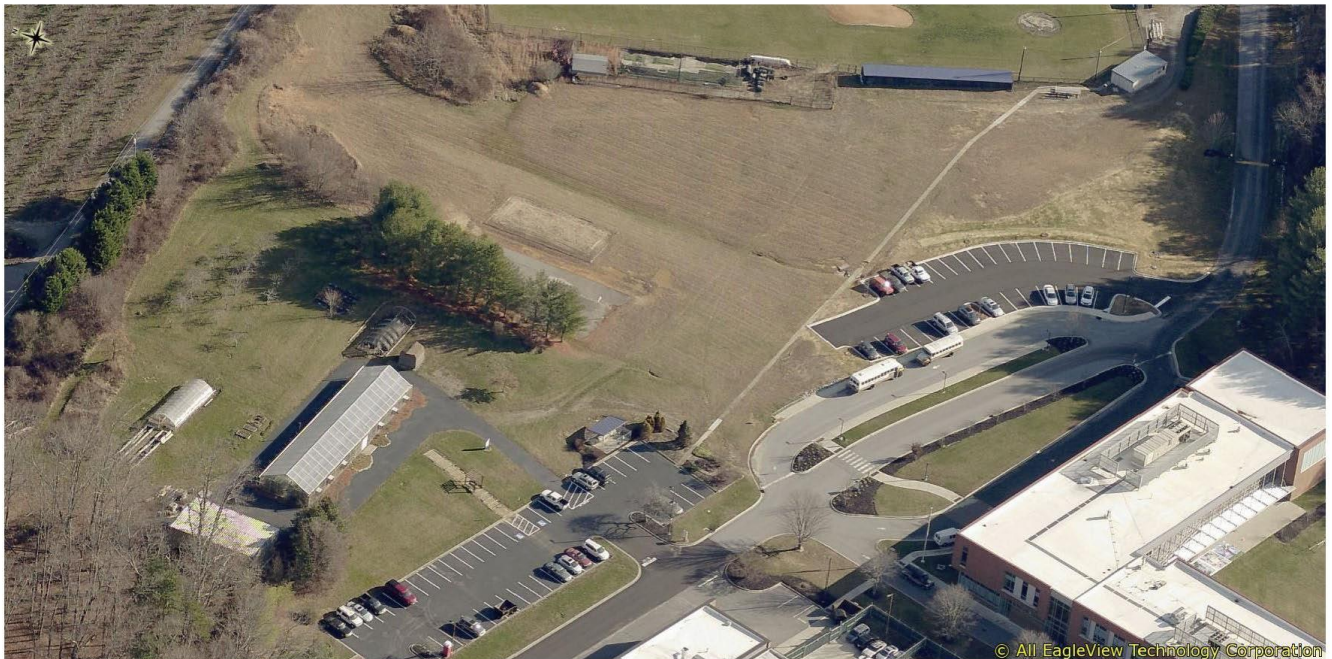


### View from South



01/06/2022

### View from West



01/05/2022



**HENDERSON COUNTY  
MAJOR SITE PLAN REVIEW APPLICATION**

**CONTACT INFORMATION**

**Property Owner:**

Name: Blue Ridge Technical Institute Phone: 828-694-1726

Complete Address: 180 West Campus Drive Flat Rock, NC 28731

**Applicant:**

Name: Blue Ridge Community Collge Phone: 828-694-1726

Complete Address: 180 West Campus Drive Flat Rock, NC 28731

**Agent:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Complete Address: \_\_\_\_\_

Agent Form (Circle One):    Yes    No

**Plan Preparer:**

Name: Will Buie - WGLA Engineering, PLLC Phone: 828-687-7177 ext 302

Complete Address: 724 5th Avenue West Hendersonville, NC 28739

**GENERAL INFORMATION**

Date of Application: 9/12/23

Site Plan Attached (Circle One):  Yes    No

**PARCEL INFORMATION**

PIN: 9578-84-9073

Tract Size (Acres): 83.09

Zoning District: O&I

Fire District: Blue Ridge Fire

Supplemental Requirement# N/A

Watershed: N/A

Permitted by Right X

Floodplain: N/A

Special Use Permit N/A

Location / Property to be developed: Property is located on the Blue Ridge Community College Campus off East Campus Drive adjacent to the existing green house. Project will involve construction of a new 4,500 SF +/- green house and a 750 SF +/- head house with rest rooms and storage.

\*\*\*\*\*

**County Use Only**

Fee: \$ \_\_\_\_\_ Paid: \_\_\_\_\_ Method: \_\_\_\_\_ Received by: \_\_\_\_\_

1

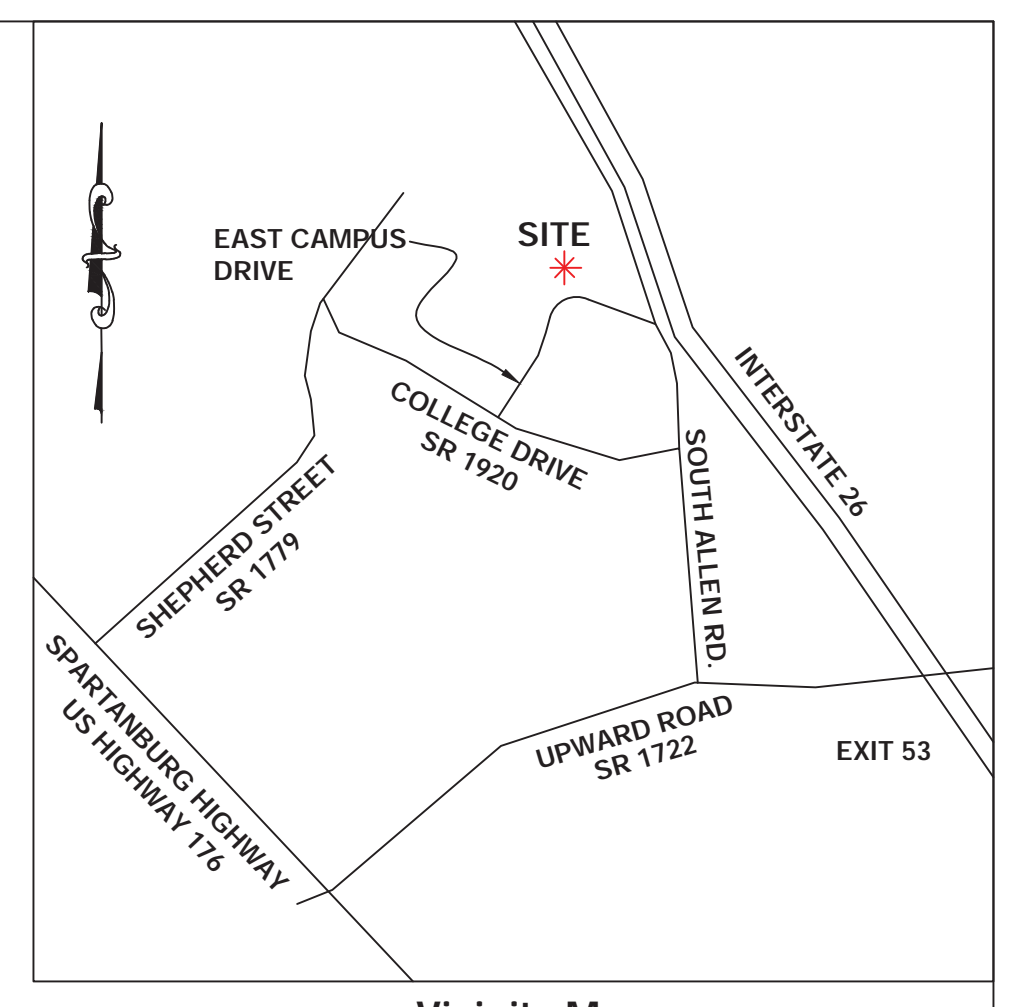
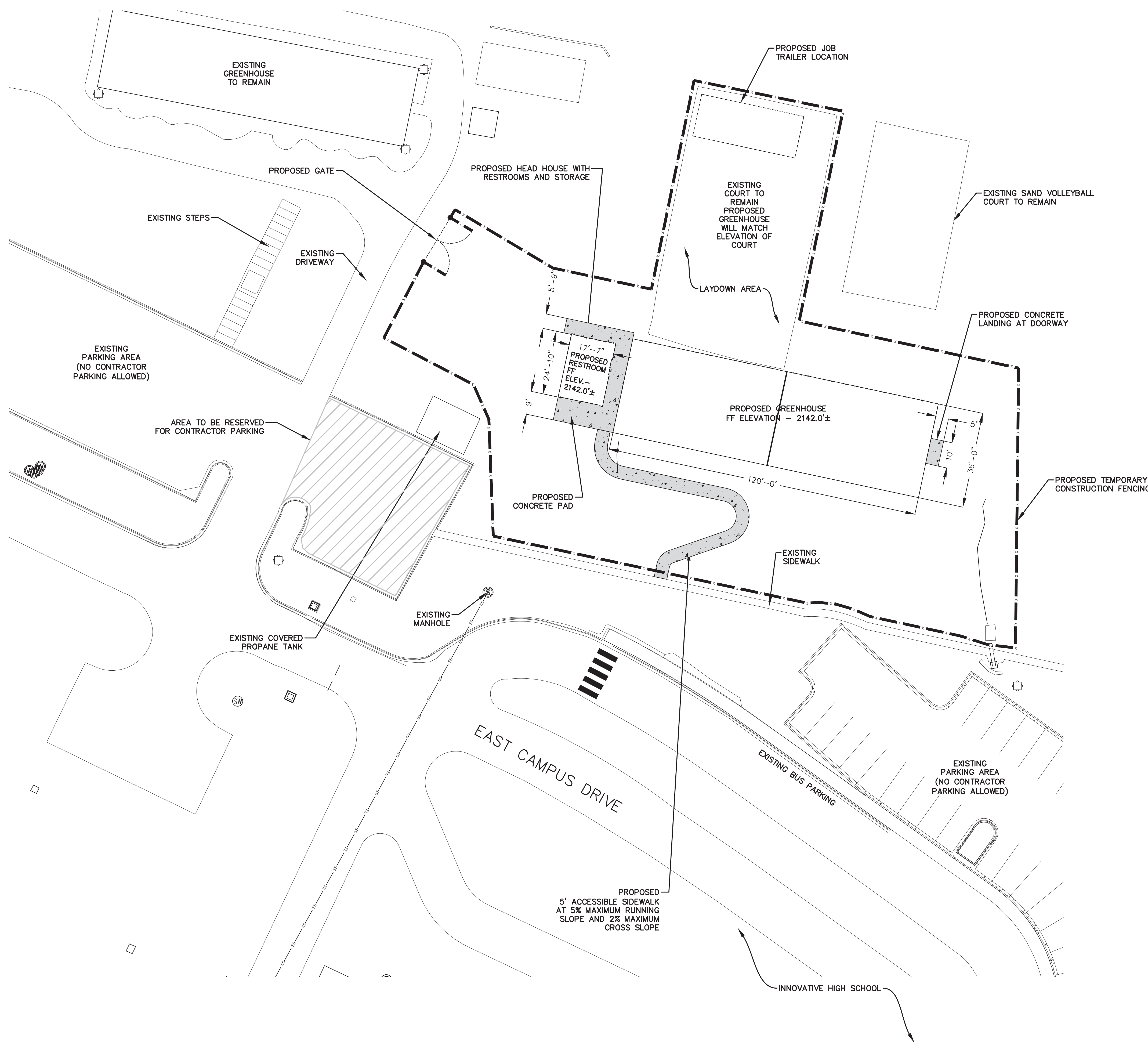
E

D

C

B

A



Vicinity Map  
(not to scale)

BLUE RIDGE COMMUNITY COLLEGE  
**BRCC GREENHOUSE FACILITIES**  
 EAST CAMPUS DRIVE  
 FLAT ROCK, NC 28731

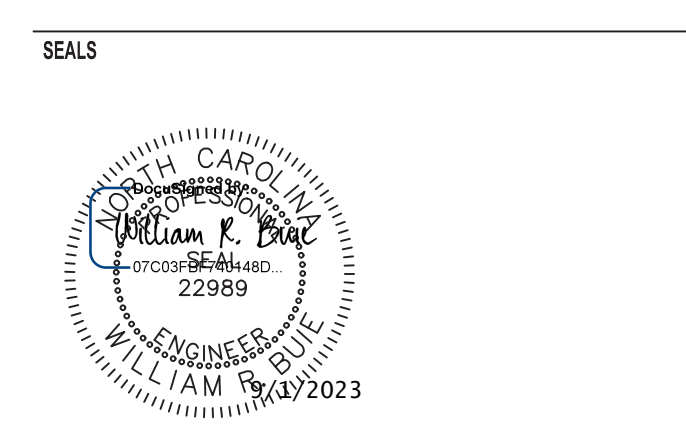
DESIGNER  
**CLARK NEXSEN**  
 301 COLLEGE STREET, SUITE 300  
 ASHEVILLE, NORTH CAROLINA 28801  
 828-232-0606 FAX 828-232-1606  
 WWW.CLARKNEXSEN.COM  
 CLARK NEXSEN LICENSE NUMBER: C-1028

**PROJECT SUMMARY**

PROJECT NAME:	BRCC GREENHOUSE FACILITIES BLUE RIDGE COMMUNITY COLLEGE EAST CAMPUS DRIVE FLAT ROCK, NC 28731	
PIN #	9578-84-9073	
DB/PG:	490/373	
ZONING:	O&I (HENDERSON COUNTY)	
OWNER:	BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731	
ARCHITECT:	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801	
ENGINEER:	WILLIAM R. BUIE, P.E. WGLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739	
ACREAGE:	83.09 AC.±	
PROPOSED GREENHOUSE	(121' X 37')	4,477 SF
PROPOSED HEADHOUSE	(22' X 34')	748 SF

- NOTES:**
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING (6' TALL WITH SCREENING) AS NOTED ON PLANS FOR THE DURATION OF THE PROJECT. IF ADDITIONAL FENCING IS REQUIRED, THIS WILL BE AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SERVICES REQUIRED FOR THE PROJECT INCLUDING UTILITIES, PORTABLE TOILETS, ETC.
  - WHERE PROPOSED, SILT FENCING MAY BE INCORPORATED INTO THE TEMPORARY CONSTRUCTION FENCING.
  - THE EXISTING COURT TO THE NORTH OF THE PROPOSED GREENHOUSE MAY BE USED BY CONTRACTORS AS A LAYDOWN YARD. ANY DAMAGE TO THE COURT THAT OCCURS DURING CONSTRUCTION MUST BE REPAIRED BY THE CONTRACTOR.
  - THE CONTRACTOR SHOULD BE AWARE OF EXISTING UNDERGROUND UTILITIES. A PRIVATE UNDERGROUND UTILITY LOCATION WAS PREVIOUSLY COMPLETED AND WILL BE MADE AVAILABLE TO THE CONTRACTOR. NEW UTILITY LOCATIONS MUST BE COMPLETED BY THE CONTRACTOR. IF UTILITY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.
  - CONTRACTOR PARKING HAS BEEN IDENTIFIED ADJACENT TO THE SITE. ANY PARKING BEYOND THESE SPACES WILL REQUIRE PRIOR APPROVAL BY THE OWNER.
  - AT THE CONCLUSION OF CONSTRUCTION, ALL EROSION CONTROL MEASURES MUST BE REMOVED AND GROUND COVER ESTABLISHED FOR ALL DISTURBED AREAS. THIS INCLUDES ANY AREAS DISTURBED BY CONSTRUCTION EVEN IF NOT INCLUDED IN THE LIMITS OF DISTURBED AREA.

CONSULTANT  
**WGLA Engineering, PLLC**  
 Consulting Engineers & Land Planners  
 NC License No: P-1342  
 724 5th Avenue West  
 Hendersonville, North Carolina 28739  
 (828) 887-7177  
 wglac.com

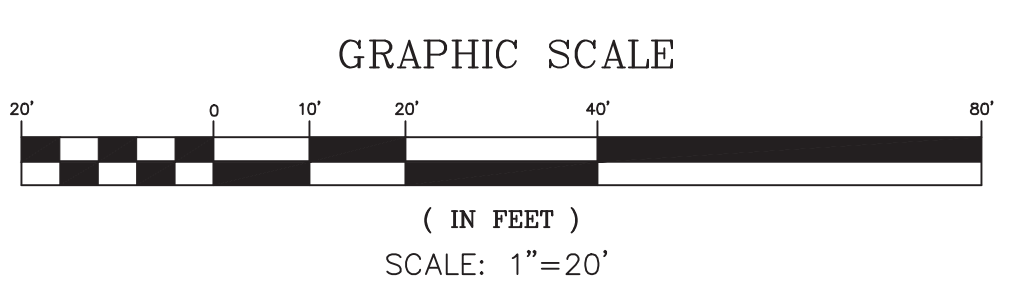


SUBMITAL  
 2023/08/11  
**CONSTRUCTION DOCUMENTS**

REVISIONS

NO.	DESCRIPTION

KEY PLAN



**C-200**

DESIGN: TWVT  
 DRAWING: KHC  
 REVIEW: WRB  
 SHEET: SITE PLAN  
 CN 10186





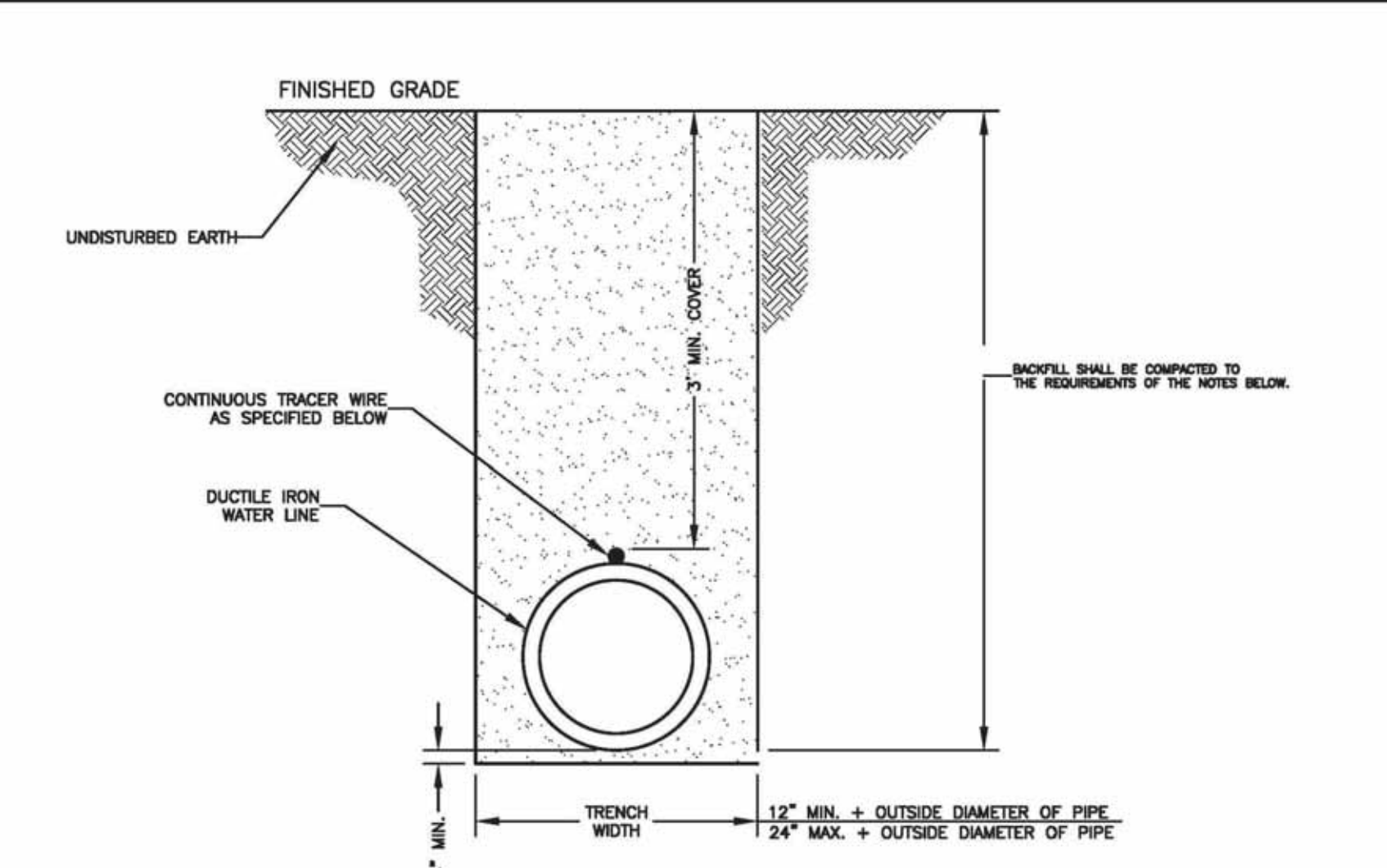
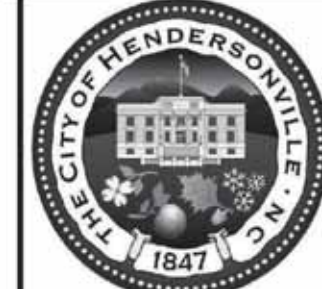
GENERAL NOTES

- 1. WATER CONSTRUCTION ON THIS SITE IS AUTHORIZED BY PERMITS ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY... 2. MATERIALS AND INSTALLATION FOR WATER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITIONS OF CITY SPECIFICATIONS AND STANDARDS AND REQUIREMENTS...

DISCLAIMER: THE STANDARD WATER DETAILS ARE FOR THE SOLE USE OF PROJECTS DIRECTLY FOR, OR THOSE PROJECTS IN WHICH OWNERSHIP WILL BE TRANSFERRED TO THE CITY OF HENDERSONVILLE...

DATE: 03/14/2019 WD DWG. NO. 1
SCALE: NOT TO SCALE
City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28702
(828) 697-3000 (office)
www.cityofhendersonville.org

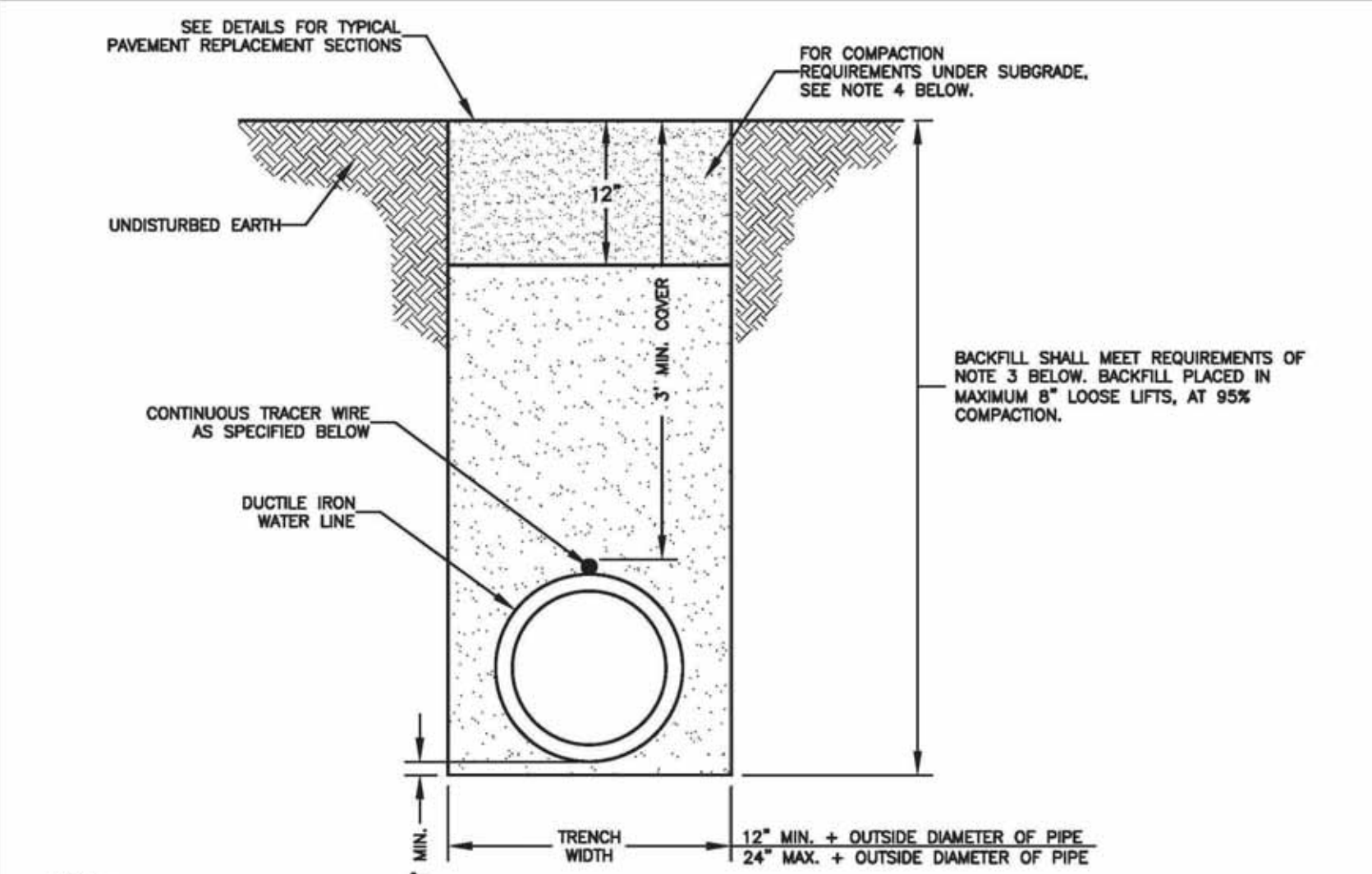
WATER DETAILS
GENERAL NOTES



- NOTES: 1. TRENCHES EXCAVATED OUTSIDE EXISTING ROAD AND RAILWAY RIGHTS-OF-WAY SHALL BE BACKFILLED WITH COMMON BACKFILL MATERIAL... 2. THE WATER LINE SHALL HAVE A MINIMUM OF 3' OF COVER AT FINISHED GRADE.

DATE: 01/12/2019 WD DWG. NO. 2
SCALE: NOT TO SCALE
City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28702
(828) 697-3000 (office)
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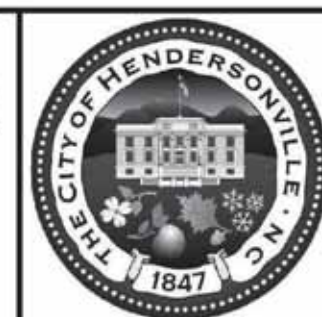
WATER TRENCH CONSTRUCTION
OUTSIDE PAVEMENT



- NOTES: 1. THIS TRENCH BACKFILL DETAIL APPLIES TO AREAS UNDER PAVEMENT, CURB, GUTTER, SIDEWALK OR AREAS WHERE THE TRENCH IS WITHIN FIVE (5) FEET OF THE EDGE OF PAVEMENT... 2. COMPACTION OF THE BACKFILL SHALL BE ACHIEVED THROUGH THE USE OF AN APPROVED VIBRATORY PLATE TAMPER OR ROLLER.

DATE: 06/10/2019 WD DWG. NO. 3
SCALE: NOT TO SCALE
City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28702
(828) 697-3000 (office)
www.cityofhendersonville.org

WATER TRENCH CONSTRUCTION
UNDER PAVEMENT

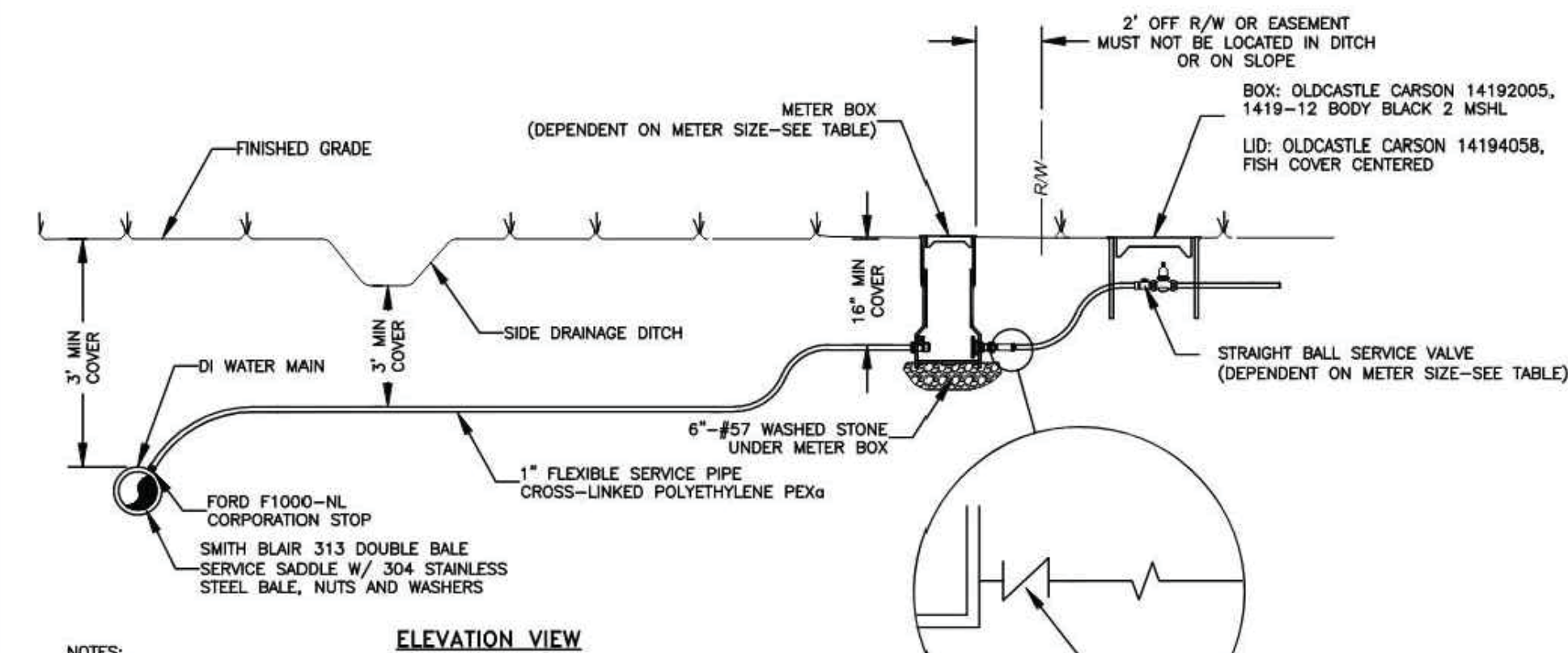


RELATIONSHIP OF WATER & SEWER MAINS

Contractor is required to comply with the North Carolina Administrative Code, Rules Governing Public Water Systems, Title 15a NCAC 18C.0906. See Section No. 6200.6 in the City of Hendersonville Technical Specifications.

- NOTES: 1.) THE SPECIFICATIONS AND REQUIREMENTS OF THE HENDERSONVILLE WATER AND SEWER DEPARTMENT SUPERSEDE ALL OTHERS IN THE INSTALLATION OF THE PROPOSED EXTENSION(S)... 2.) HENDERSONVILLE WATER AND SEWER DEPARTMENT MAINTENANCE OF WATER SYSTEM ENDS AT THE METER FOR THE SERVICES.

Table with 6 columns: METER SIZE, METER BOX SIZE, METER BOX, LID, STRAIGHT BALL SERVICE VALVE, STRAIGHT DUAL CARTRIDGE CHECK VALVE. Includes part numbers like FORD CB111-233-NL.



- NOTES: 1. THE CITY OF HENDERSONVILLE SHALL INSTALL WATER METERS. 2. NO METERS WILL BE INSTALLED NOR WATER SERVICE PROVIDED, UNTIL A WRITTEN FINAL ACCEPTANCE OF THE SYSTEM IS ISSUED BY THE CITY.

TRACER WIRE SHALL BE EXTENDED ALONG ALL WATER LINES, FITTINGS, VALVES, SERVICES, AND HYDRANTS. LOCATING CLIPS SHALL BE PROVIDED AT ALL VALVES, HYDRANT VALVES AND METER BOXES.

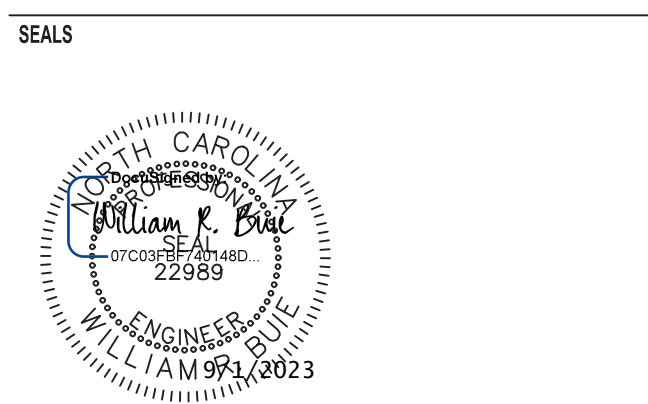
DATE: 01/12/2019 WD DWG. NO. 2
SCALE: NOT TO SCALE
City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28702
(828) 697-3000 (office)
www.cityofhendersonville.org

Professional Engineer seal for William R. Biel, License No. 22985, State of North Carolina. Includes project information: DATE: 03/12/2021, SCALE: NOT TO SCALE, PROJECT: 1" SERVICE LATERAL INSTALLATION WITH RPZ.

BRCC GREENHOUSE FACILITIES
CLARK NEXSEN
301 COLLEGE STREET, SUITE 300
ASHEVILLE, NORTH CAROLINA 28801
CLARK NEXSEN LICENSE NUMBER: C-1028

A, B, C, D, E

WGLA Engineering, PLLC
Consulting Engineers & Land Planners
NC License No. P-1342
704 5th Avenue East
Hendersonville, North Carolina 28703
(828) 697-7177
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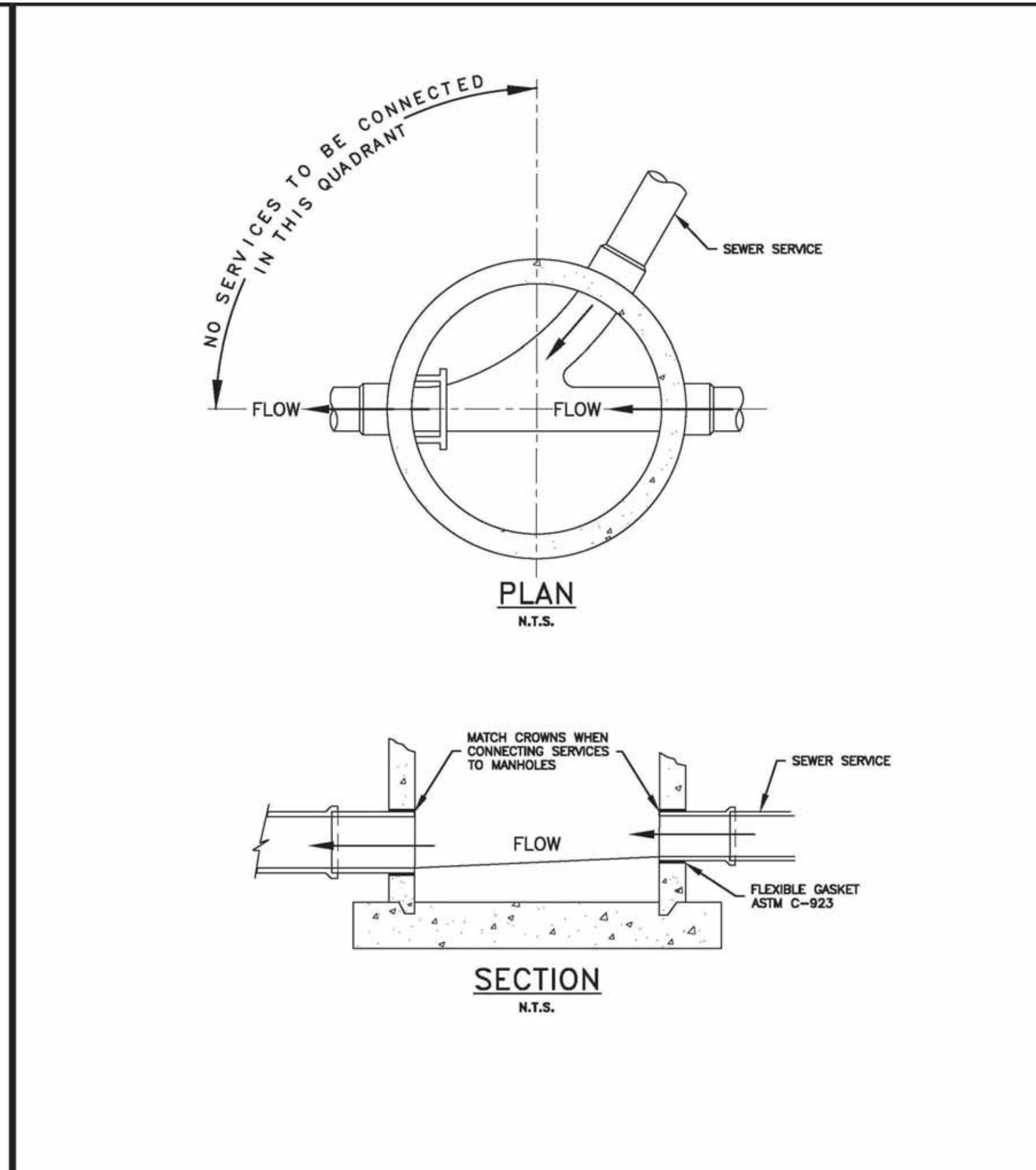
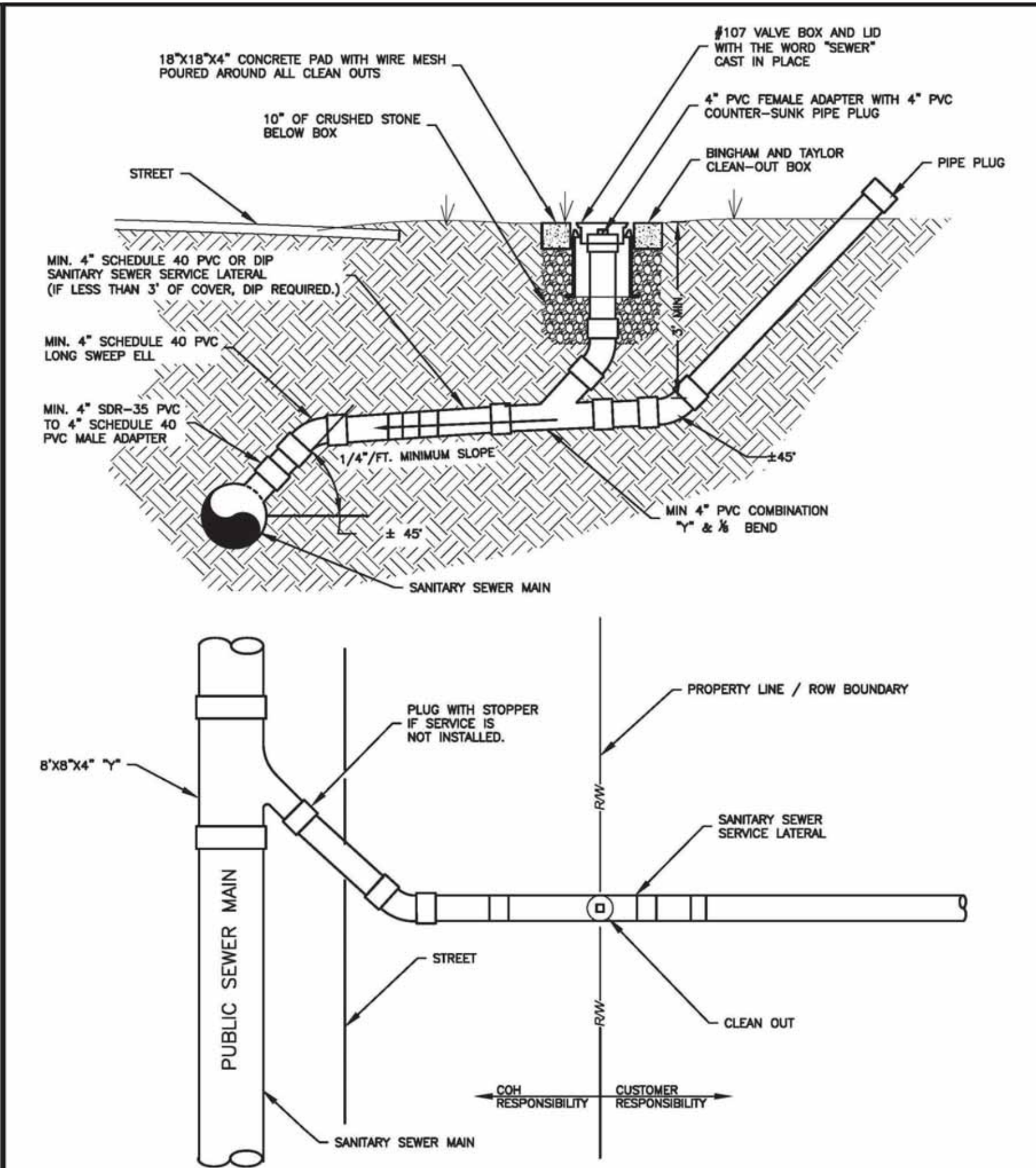
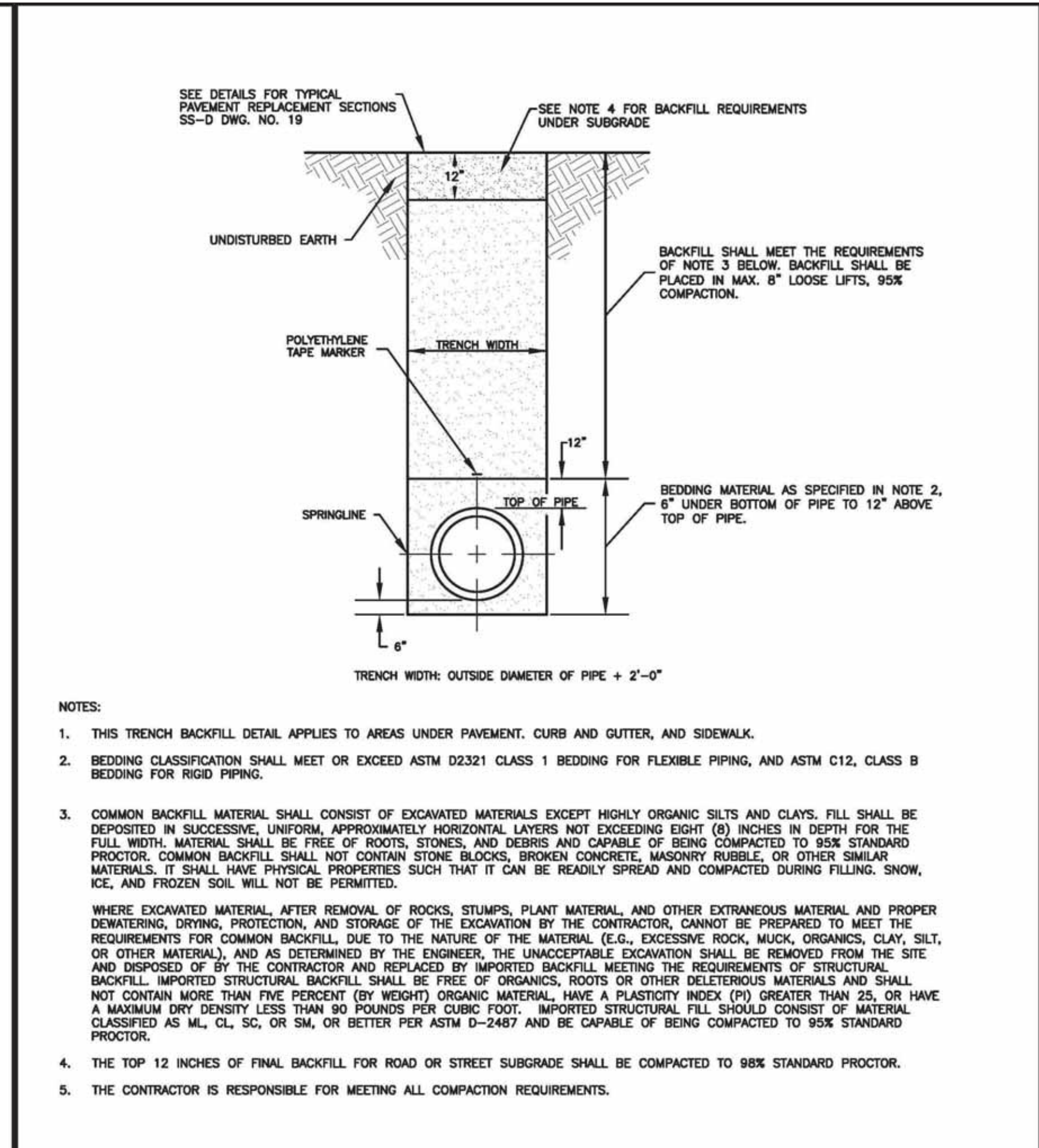
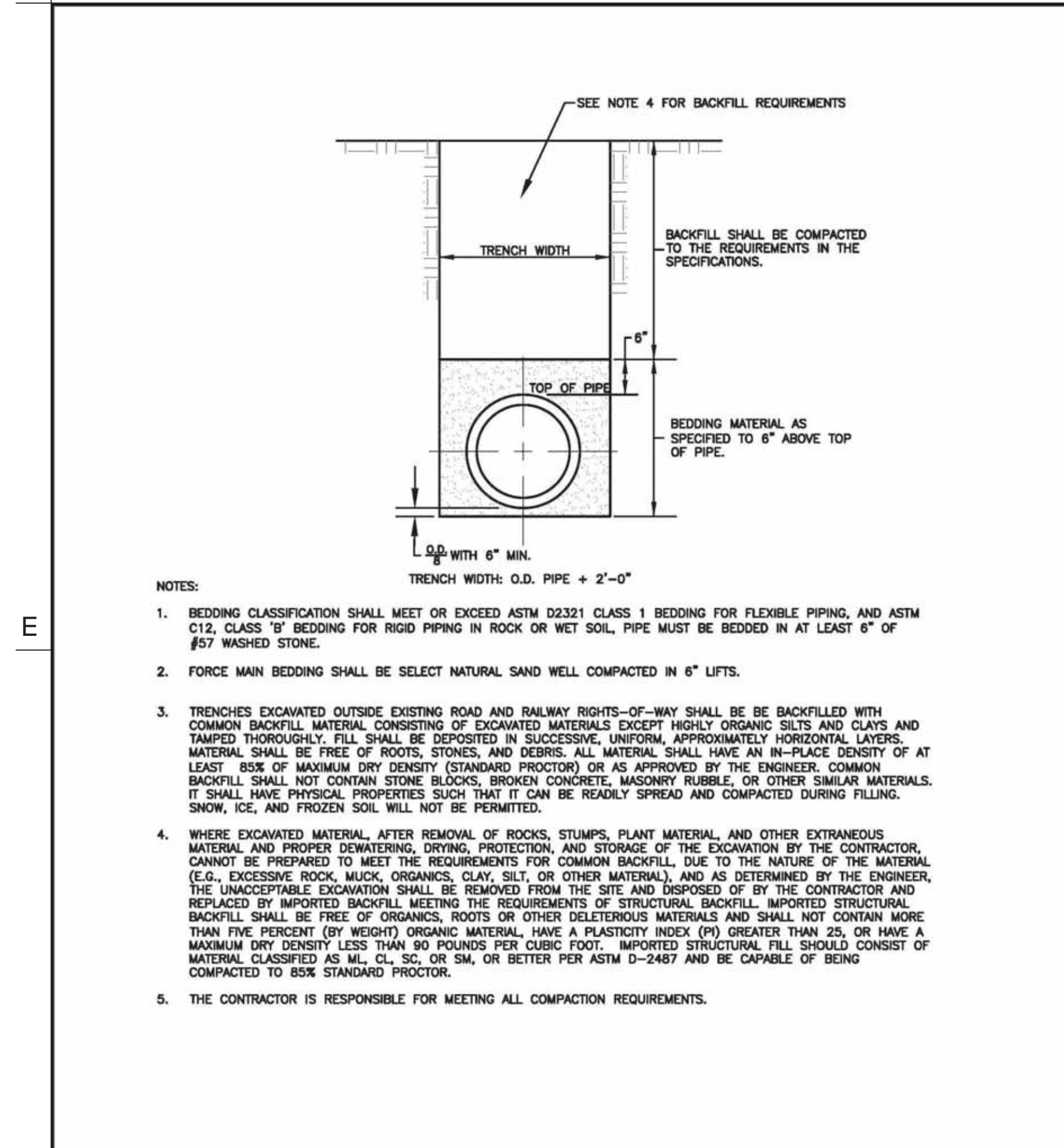
2023/08/11
CONSTRUCTION DOCUMENTS

REVISIONS table with columns for revision number, description, and date.

KEY PLAN

UTILITY DETAILS

811 logo with text 'Know what's below. Call before you dig.'
DESIGN: TWT
DRAWN: KHC
REVIEW: WRB
CN 10186



DATE: 06/19/2019 SS-D DWG. NO. 1

SCALE: NOT TO SCALE

City of Hendersonville Engineering Department  
305 Williams Street  
Hendersonville, NC 28792  
(828) 697-3000 (office)  
www.cityofhendersonville.org

**TRENCH CONSTRUCTION**

**OUTSIDE PAVEMENT**



DATE: 05/14/2019 SS-D DWG. NO. 2

SCALE: NOT TO SCALE

City of Hendersonville Engineering Department  
305 Williams Street  
Hendersonville, NC 28792  
(828) 697-3000 (office)  
www.cityofhendersonville.org

**TRENCH CONSTRUCTION**

**UNDER PAVEMENT**



DATE: 01/12/2019 SS-D DWG. NO. 4

SCALE: NOT TO SCALE

City of Hendersonville Engineering Department  
305 Williams Street  
Hendersonville, NC 28792  
(828) 697-3000 (office)  
www.cityofhendersonville.org

**STANDARD SERVICE CONNECTION**

**LATERAL AND CLEANOUT**



DATE: 01/12/2019 SS-D DWG. NO. 5

SCALE: NOT TO SCALE

City of Hendersonville Engineering Department  
305 Williams Street  
Hendersonville, NC 28792  
(828) 697-3000 (office)  
www.cityofhendersonville.org

**SERVICE CONNECTIONS**

**AT MANHOLES**



E	D	C	B	A	DATE: 06/19/2019 SS-D DWG. NO. 1	DATE: 05/14/2019 SS-D DWG. NO. 2	DATE: 01/12/2019 SS-D DWG. NO. 4	DATE: 01/12/2019 SS-D DWG. NO. 5
					SCALE: NOT TO SCALE	SCALE: NOT TO SCALE	SCALE: NOT TO SCALE	SCALE: NOT TO SCALE
City of Hendersonville Engineering Department 305 Williams Street Hendersonville, NC 28792 (828) 697-3000 (office) www.cityofhendersonville.org		City of Hendersonville Engineering Department 305 Williams Street Hendersonville, NC 28792 (828) 697-3000 (office) www.cityofhendersonville.org		City of Hendersonville Engineering Department 305 Williams Street Hendersonville, NC 28792 (828) 697-3000 (office) www.cityofhendersonville.org		City of Hendersonville Engineering Department 305 Williams Street Hendersonville, NC 28792 (828) 697-3000 (office) www.cityofhendersonville.org		
<b>TRENCH CONSTRUCTION</b> <b>OUTSIDE PAVEMENT</b>		<b>TRENCH CONSTRUCTION</b> <b>UNDER PAVEMENT</b>		<b>STANDARD SERVICE CONNECTION</b> <b>LATERAL AND CLEANOUT</b>		<b>SERVICE CONNECTIONS</b> <b>AT MANHOLES</b>		

BLUE RIDGE COMMUNITY COLLEGE

**BRCC GREENHOUSE FACILITIES**

EAST CAMPUS DRIVE  
FLAT ROCK, NC 28731

DESIGNER

**CLARKNEXSEN**

301 COLLEGE STREET, SUITE 300  
ASHEVILLE, NORTH CAROLINA 28801  
828-232-0600 FAX 828-232-1506  
WWW.CLARKNEXSEN.COM

CLARKNEXSEN LICENSE NUMBER: C-1028

CONSULTANT

**WGLA Engineering, PLLC**  
Consulting Engineers & Land Planners  
NC License No. P-1342  
754 5th Avenue West  
Hendersonville, North Carolina 28739  
(828) 697-7177  
wglc.com

SEALS

2023/08/11

CONSTRUCTION DOCUMENTS

REVISIONS

KEY PLAN

SHEET

UTILITY DETAILS

811  
Know what's below.  
Call before you dig.

DESIGN: TWT  
DRAWN: KHC  
REVIEW: WRB

CN 10186

1

E