

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING DATE: October 3, 2023

SUBJECT: Major Site Plan Review for Pace Construction and Demolition Warehouse

PRESENTER: Toby Linville, Floodplain Administrator

ATTACHMENTS:

1. Staff Report
2. Photographs
3. Application
4. Site Plan

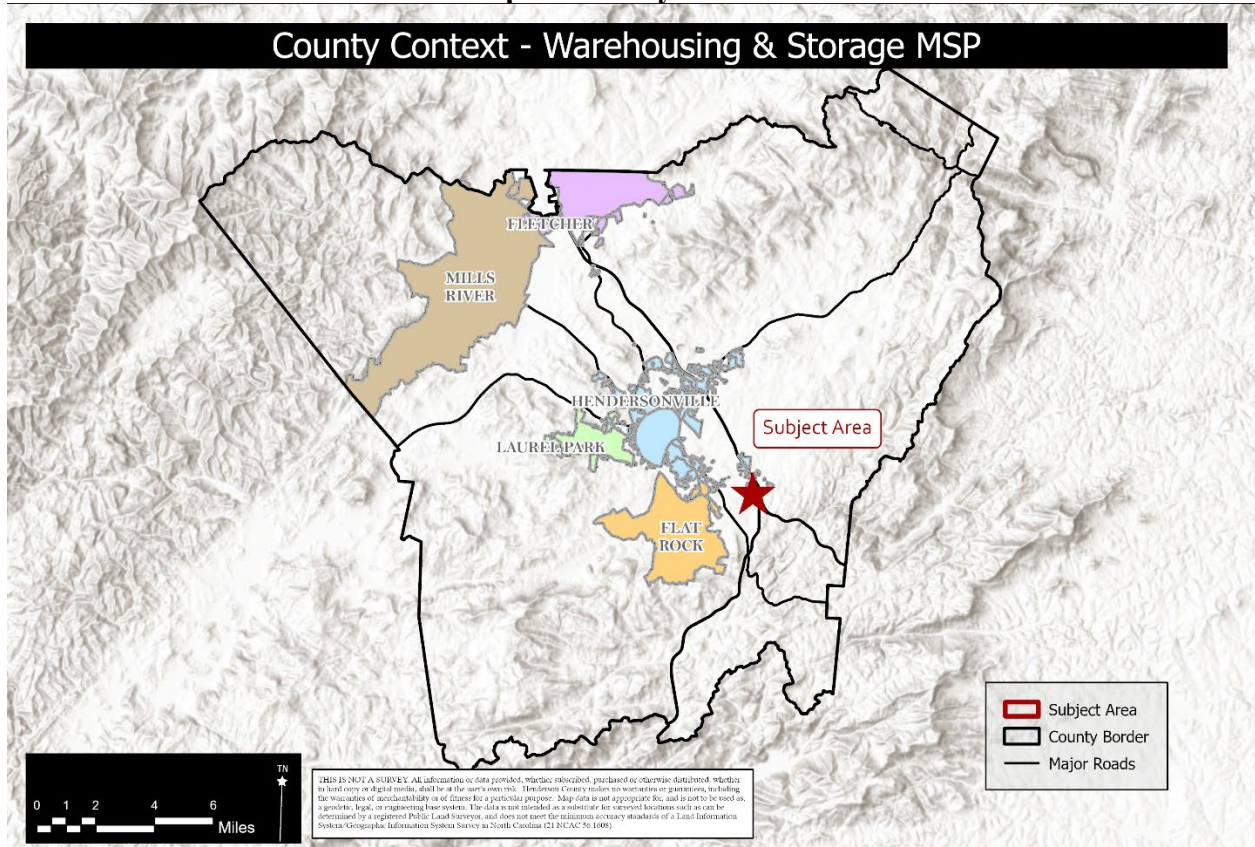
SUMMARY OF REQUEST:

Staff requests that the TRC review and take the appropriate action on the application.

Suggested Motion:

I move that the TRC approve/deny the major site plan for Pace Construction and Demolition

Map A: County Context



Property Owner/Applicant: Mark & Virginia Pace
Assessed Acreage: 6.72 Acres PIN: 9587-37-4651
Current Zoning: Industrial (I)





Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicant:** Mark Pace
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9587-37-4651
- 1.4. **Size:** 6.72 acres +/-
- 1.5. **Location:** The subject area is located at 422 Crest Rd off Airport Rd and .27 miles from the intersection with E Blue Ridge Rd
- 1.6. **Supplemental Requirements/Definition:**

SR 9.15. *Warehousing and Storage (Excluding Warehousing of Hazardous Substances)*

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Dust Reduction. Unpaved *roads, travel ways* and/or parking areas shall be treated to prevent dust from adverse effects to adjacent properties.

Warehousing and Storage. An establishment primarily engaged in operating warehousing and storage facilities (excluding warehousing of hazardous substances).

Map B: Aerial Map



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2. Current Conditions

2.1 Current Use: This parcel is currently a storage yard for crushing concrete.

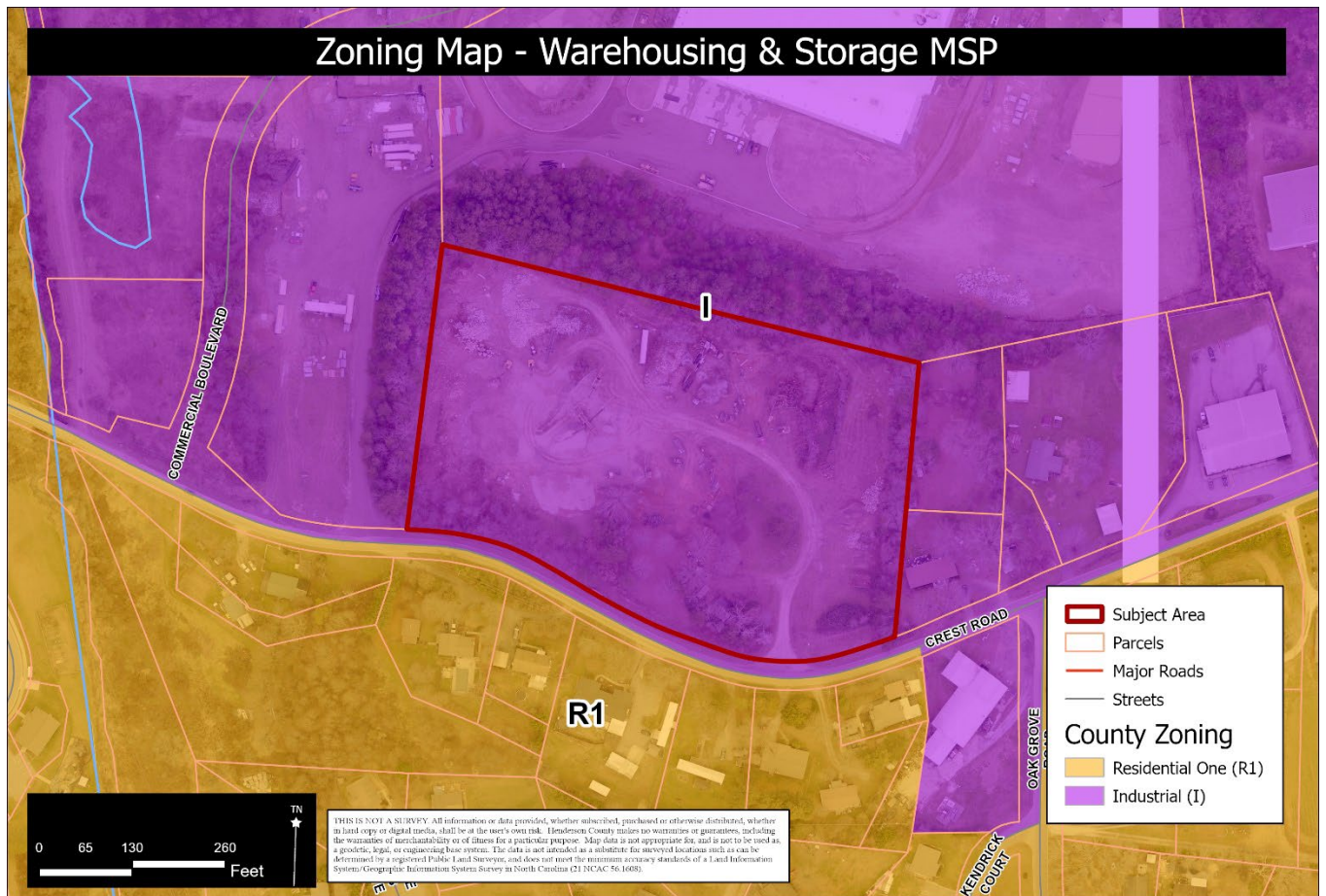
2.2 Adjacent Area Uses: The surrounding properties consist of residential, commercial, and industrial uses. The Garrison Industrial Park is North including Jabil Manufacturing, Atlas Bolt and Screw and Parts Unlimited. Properties south and west are single family homes.

3. 3.1 Current Zoning: The subject area is zoned Industrial (I).

3.2 Adjacent Zoning: Surrounding properties are zoned Industrial (I) to the north and east and Residential One (R1) to the south.

3.3 Residential One Zoning District (R1): The purpose of Residential District One (R1) is to foster orderly growth where the principal use of land is residential. The intent of this district is to allow for medium to high-density residential development consistent with the recommendations of the Comprehensive Plan. This general use district is typically meant to be utilized in areas designated as Urban (USA) in the Comprehensive Plan. (LDC §42-27)

Map C: Current Zoning

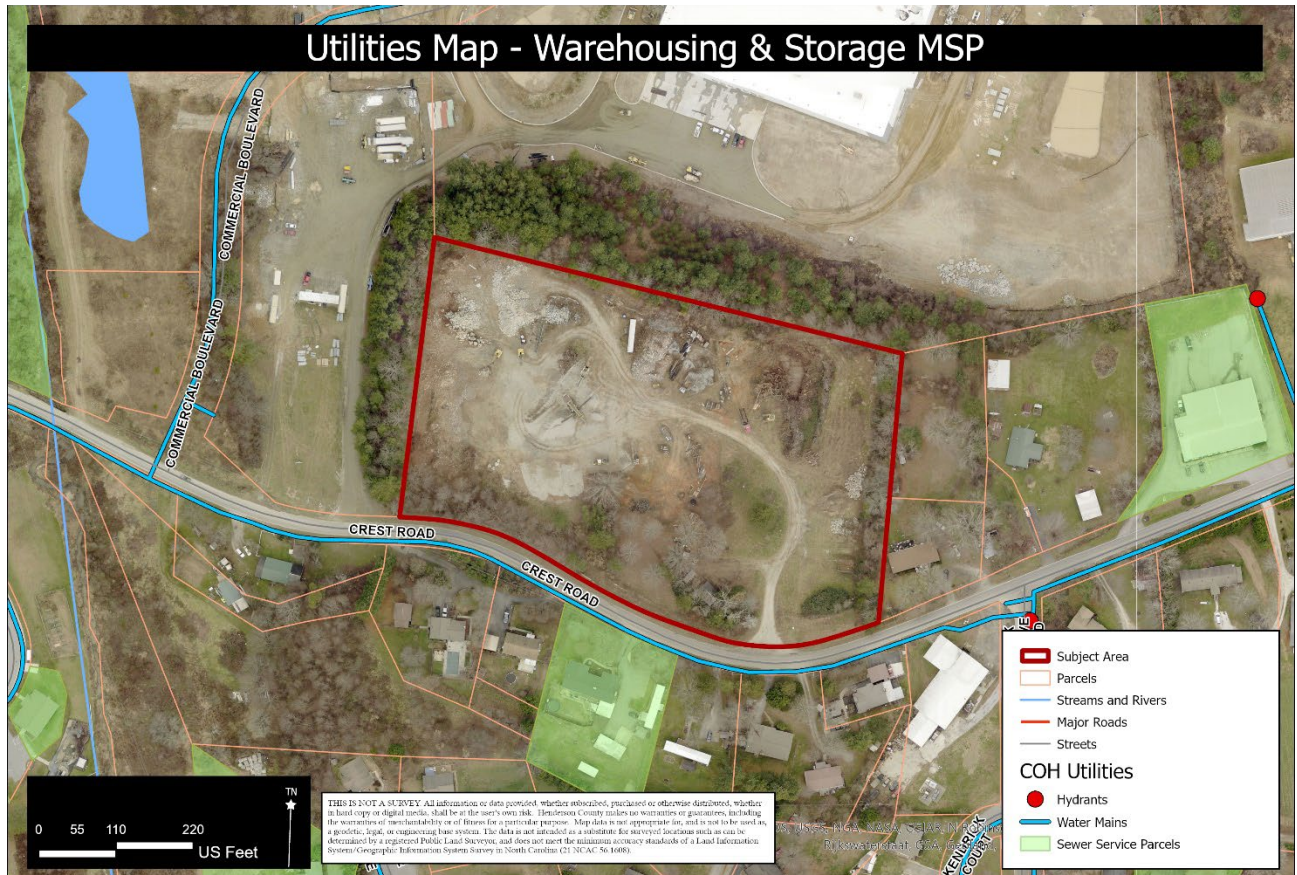


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4. **Floodplain /Watershed Protection:** The subject area is not located in a Special Flood Hazard Area. The parcel is not in Water Supply Watershed district.
5. **Water and Sewer:** This property will be served by private utilities.
Public Water: City of Hendersonville
Public Sewer: Private Septic

Map D: Public Utilities Map



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6. **Staff Comments**

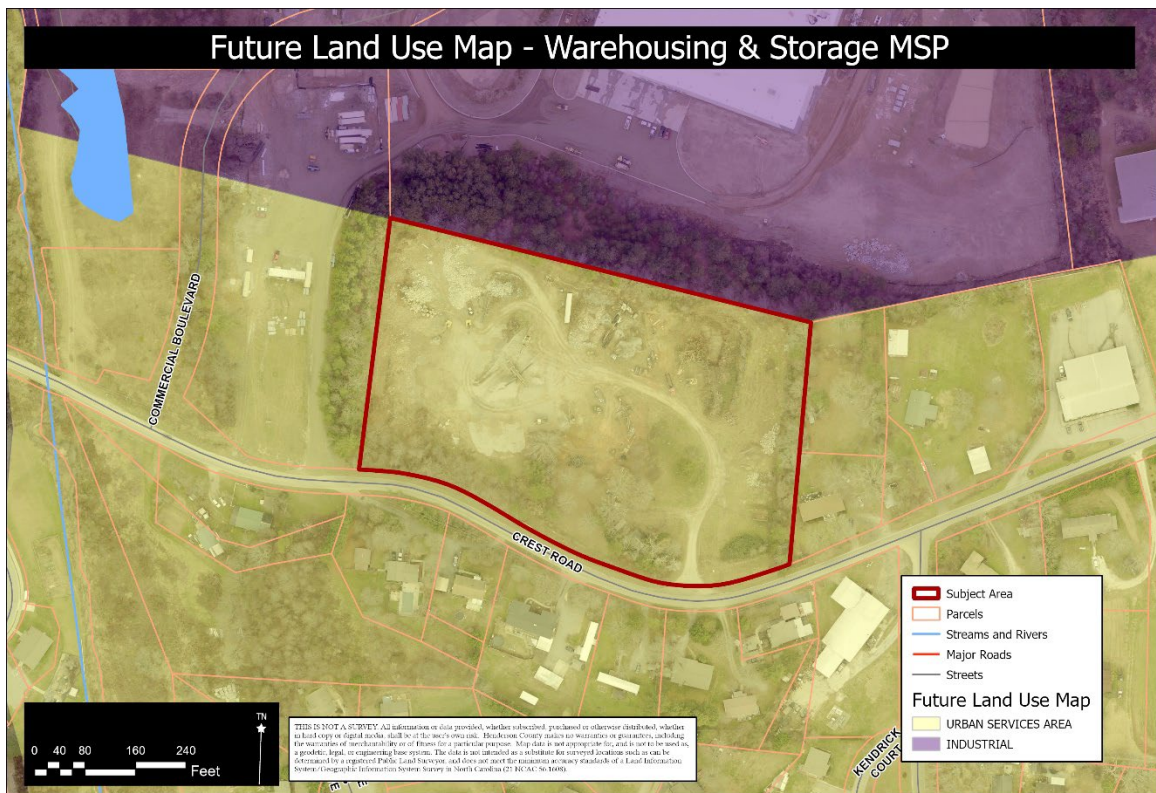
Henderson County Comprehensive Plan (CCP). The Future Land Use Map of the CCP shows the Subject Area as being located within an area of Urban Services Area classification and partially encumbered by the Community Service Centers classification.

The following is a description of the patterns of development envisioned within the USA:

1. The Urban Services Area is that area within which most urban services and urban- scale development is currently concentrated, and within which such development should generally be concentrated through the year 2020.

2. Growth and development will be proactively managed through extensive planning. Much of the USA falls within municipal planning jurisdictions and will be managed by those jurisdictions. Land use planning for areas falling within the County’s jurisdiction should be comparable and compatible in its approach and intensity with planning conducted within the various municipal jurisdictions.

Map E: CCP Future Land Use Map



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7. **Proposal:** The major site plan proposal includes the follow elements:

- Add 50x100 metal building
- City of Hendersonville Water and private septic
- Add Retaining Wall 5' x 140'
- Add sidewalk and accessible parking
- Add sediment trap
- New Impervious area 1.59 acres

8. Photographs

Building location looking east



Concrete crushing area looking west



Driveway looking East towards Tabor Rd



Driveway looking west towards W Blue Ridge Rd



Driveway Entrance



HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION

CONTACT INFORMATION

Property Owner:

Name: Mark B & Virginia L. Pace Phone: 828-242-1420
Complete Address: 171 Terrace Mt Drive Hville NC 28739

Applicant:

Name: Mark Pace Phone: 828-242-1420
Complete Address: 171 Terrace Mt Drive

Agent:

Name: Mark Pace Phone: 828-242-1420
Complete Address: 171 Terrace Mt Drive 28739
Agent Form (Circle One): Yes No

Plan Preparer:

Name: CDS Phone: 828-329-9025
Complete Address: 1003 4th Ave W Hendersonville NC 28739

GENERAL INFORMATION

Date of Application: 8-5-23
Site Plan Attached (Circle One): Yes No

PARCEL INFORMATION

PIN: 9587374651 Tract Size (Acres): 6.72
Zoning District: I Fire District: Blue Ridge
Supplemental Requirement# _____ Watershed: Bot Fork Creek & Dunn Creek
Permitted by Right _____ Floodplain: _____
Special Use Permit _____

Location / Property to be developed: Crest Rd - Apex 1/2 mile from
BRVFD - 1/16 mile from Oak Grove
& Crest Rd - Top of Hill

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Received by: _____

APPLICATION IDENTIFICATION

**N.C. DEPARTMENT OF TRANSPORTATION
STREET AND DRIVEWAY ACCESS
PERMIT APPLICATION**

Driveway Permit No. _____ Date of Application 7/14/11
 County: HENDERSON
 Development Name: Pace Shop

LOCATION OF PROPERTY:

Route/Road: 420 CREST RD - 422 CREST RD
 Exact Distance Miles Feet N S E W
 From the Intersection of Route No. CREST RD SR 1803 and Route No. OAK GROVE SR 1807 Toward _____

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other
 Property: is is not within HENDERSONVILLE City Zoning Area.

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

RECEIVED

JUL 14 2011

**NCDOT
DIVISION 14 - DISTRICT 1**

SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)
COMPANY MARK B. RACE
SIGNATURE [Signature]
ADDRESS 416 SABINE DR HENDERSONVILLE NC 28739 Phone No. 828-242-1425

WITNESS
NAME BARRY BOWNETT
SIGNATURE [Signature]
ADDRESS 3 APPLE BLOSSOM LN HENDERSONVILLE NC 28792

AUTHORIZED AGENT
COMPANY BARRY BOWNETT CREST RD C&D MATERIALS
SIGNATURE [Signature] RECOVERY FACILITY
ADDRESS 3 APPLE BLOSSOM LN HENDERSONVILLE NC 28792 Phone No. 828-808-4405

WITNESS
NAME Melody McEaha
SIGNATURE [Signature]
ADDRESS 14 Little Mac Lane Etowah
Melody McEaha

APPROVALS

APPLICATION RECEIVED BY DISTRICT ENGINEER

SL Cannon, PE / C Dumbly
SIGNATURE

7/14/11
DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE

TITLE

DATE

APPLICATION APPROVED BY DISTRICT ENGINEER

SL Cannon, PE / C Dumbly
SIGNATURE

8/11/11
DATE

INSPECTION BY NCDOT

SIGNATURE

TITLE

DATE

COMMENTS:



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

BEVERLY EAVES PERDUE
Governor

EUGENE A. CONTI, JR.
Secretary

August 11, 2011

Mr. Barry Bonnett
Pace Construction
3 Apple Blossom Lane
Hendersonville, NC 28792

Re: Driveway Permit # 4511016
Materials Recovery Facility – SR 1803
Henderson County

Dear Mr. Bonnett:

The attached driveway permit has been approved and construction may begin immediately. Construction shall be according to the attached Standard Special Provisions For Driveways and shall include Project Special Provisions as noted. Driveway access points shall be constructed per attached "Figure 6" for the vertical profile.

Please refer any questions you might have concerning this driveway permit to Carl Ownbey, Transportation Technician III at 828-891-7911.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve L. Cannon".

Steve L. Cannon, PE
District Engineer

cc: Joel B. Setzer, PE Division Engineer (cover letter only)

Other Consultants:
 Surveyor - Wagener and Rhodes

Owner
 Mark B. and Virginia L. Pace
 171 Terrace Mountain Drive
 D.B. 1396 PG.014
 P.N.: 9587-37-4651

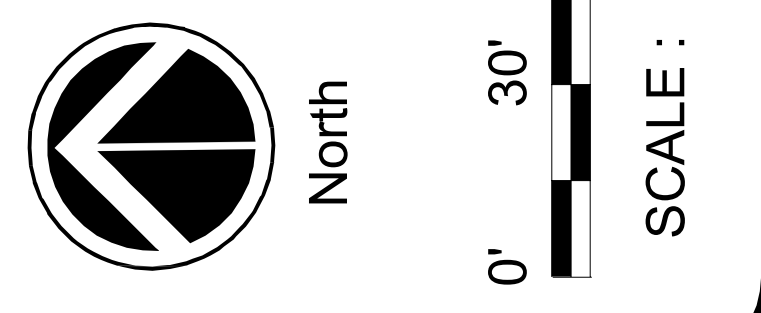
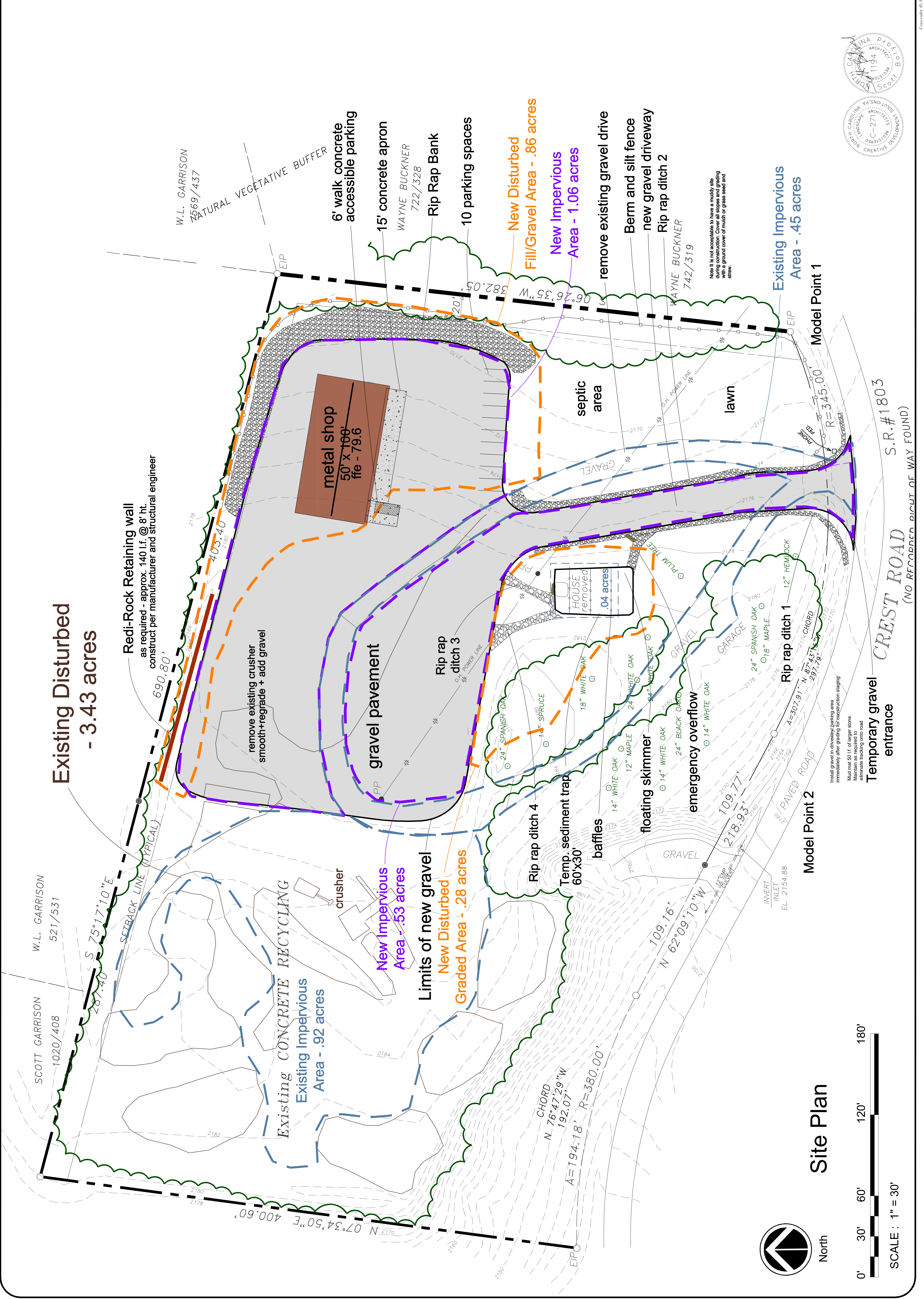
Project:
 Pace Construction
 422 Crest Road
 Edneyville Township, Henderson County, NC

Sheet:
 Site Plan

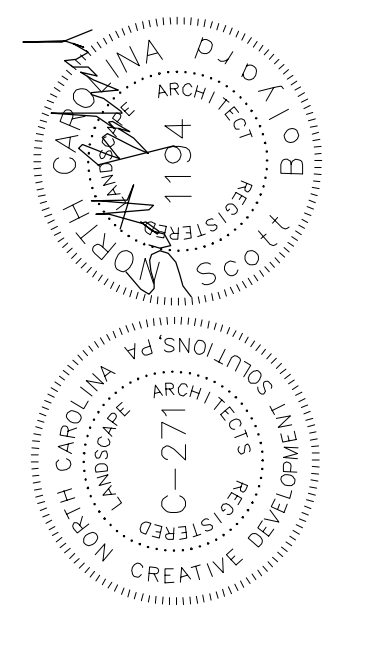
Designed By:
 Creative Development Solutions
 landscape architecture | land planning | community and resort design
 1003 4th avenue west, hendersonville, north carolina 28739
 p 828 696 9992 | f 828 696 9954

ISSUE DATE: May 26, 2023
 REVISIONS:
 DESIGNED BY: DB
 DRAWN BY: SB
 APPROVED BY: DSB

Project Number:
 SHEET NUMBER:
 L3



Site Plan



Note: It is not acceptable to have a muddy site during construction. Cover all slopes and grading with a ground cover of mulch or grass seed and straw.

Install gravel in driveway/parking area immediately after grading for construction staging. Must mat 50 ft. of larger stone. Maintain as required to eliminate tracking onto road.