

## **REQUEST FOR COMMITTEE ACTION**

### **HENDERSON COUNTY TECHNICAL REVIEW COMMITTEE**

**MEETING DATE:** Tuesday, April 3, 2012

**SUBJECT:** Master and Phase I& Phase IA Development Plan for the Boulders of Hendersonville Subdivision (2012-M01)

**STAFF CONTACT:** Parker Sloan, Planner

**ATTACHMENTS:**

1. Staff Report
2. Vicinity Map
3. Application
4. Master Plan and Ph1 and Ph1A Development Plan

**SUMMARY OF REQUEST:**

Scott Bolyard, Landscape Architect, on behalf of Peter Brower, owner, submitted a Master Plan and Phase I/IA Development Plan for the project known as The Boulders of Hendersonville. A minor subdivision conditional letter of approval for a total of lots 9 was issued on March 17, 2011. The project is located on approximately 41.73 acres of land located near Randy Drive (SR 2033) and Melinda Drive. The project site is composed of three (3) separate parcels:

- (1) Parcel 9660-11-4340 with approximately 17.49 acres;
- (2) Parcel 9660-10-5766 with approximately 6.46 acres; and
- (3) Parcel 9600-00-9720 with approximately 17.22 acres.

The Master Plan proposes a total of 59 single family lots. The applicant is currently proposing a density of 1.4 dwelling units per acre. Phase I of the Boulders of Hendersonville is proposed to contain 9 of the 59 single family lots on 8.3 acres. Phase 1A of The Boulders of Hendersonville is proposed to contain 12 of the 59 single family lots on 6.2 acres. The project is not located in a water supply watershed district nor is it located within the floodplain. According to County records, the project site does contain a protected mountain ridge and slopes in excess of 60 percent. A private on site water system with a public connection to the City of Hendersonville and private individual septic systems are proposed to serve the project site.

**TECHNICAL REVIEW COMMITTEE ACTION REQUESTED:**

Because the project includes more than 35 lots, final approval is given by the Planning Board. The TRC is requested to provide a recommendation to the Planning Board.

Staff has found that the Master Plan and Phase I & Phase 1A Development Plan appear to meet the technical standards of the subdivision regulations of Chapter 200A, Henderson County Land

Development Code (LDC) except for the comments listed in the Staff Report (See Attachment 1).

Staff recommends approval of the Master Plan and Phase I&Phase 1A Development Plan subject to the developer addressing any issues raised by the Technical Review Committee and addressing the comments listed in the Staff Report.

**Suggested Motion:** I move that the TRC recommend approval to the Planning Board of the presented Master and Development Plans with the conditions noted in the staff report and otherwise noted by the TRC.

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## Henderson County Planning Department Staff Report

### Master Plan and Phase I & 1A Development Plan for the Boulders of Hendersonville (2012-M01)

**Peter Brower, Owner**  
**Scott Bolyard, Landscape Architect, Creative Development Solutions**

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#### Master Plan Comments:

According to Chapter 200A, Henderson County Land Development Code (LDC) §200A-309, the purpose of a Master Plan is to provide general information about the proposed development to allow for an assessment of its impact on the orderly growth and development of the County, environmental quality, land values, natural features identified on the site analysis sketch and the County's roads and governmental services. During the review of the Master Plan, the Technical Review Committee should take into consideration: applicable recommendations of the *Henderson County 2020 Comprehensive Plan*, the potential use of the land to be subdivided, and the impact of the subdivision and proposed use whether residential, commercial or industrial.

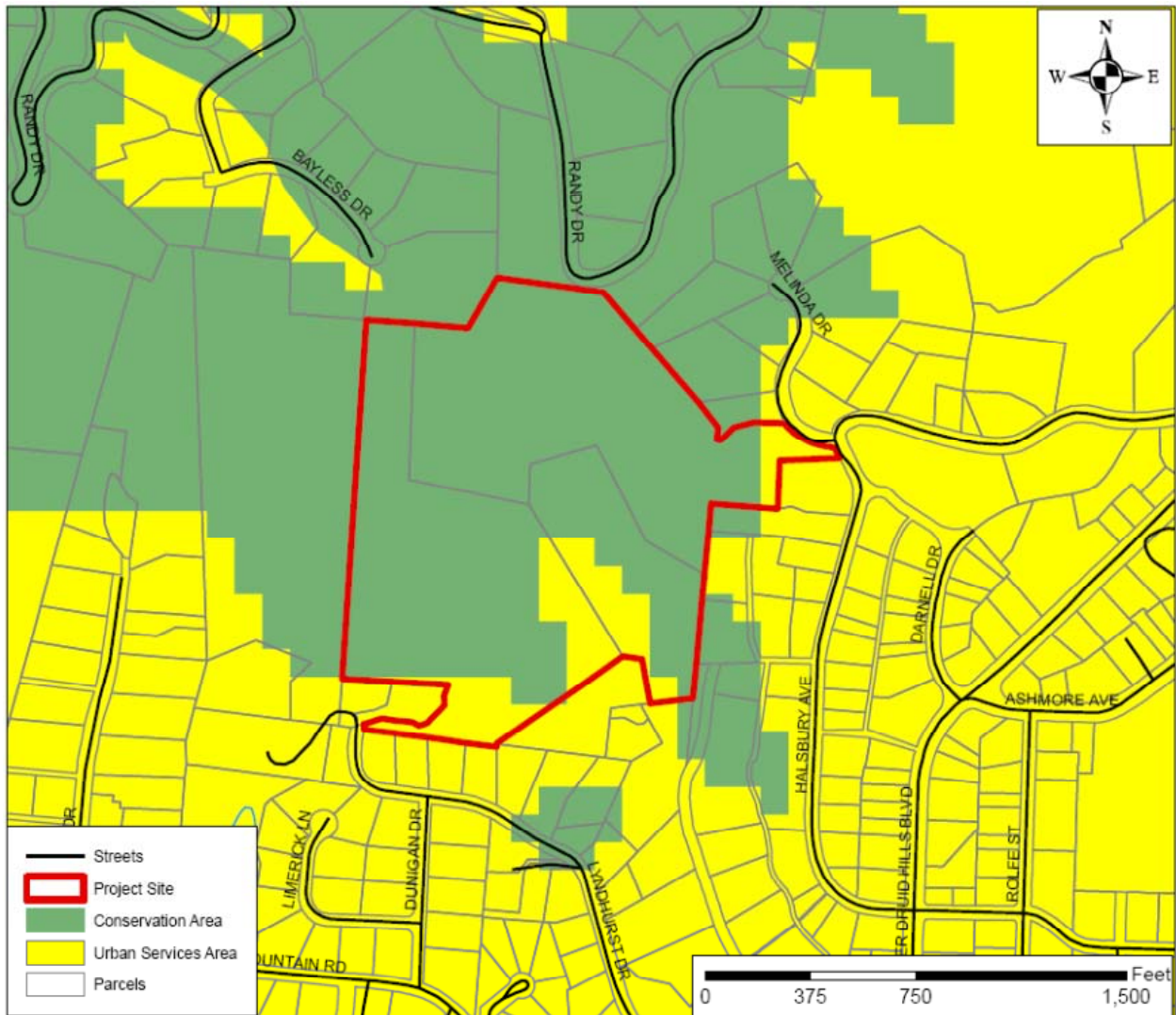
When reviewing the Master Plan it is important to consider that, due to severe topographic conditions, inadequate road access, distance from services, unique natural areas, soils that do not easily support soil drainage systems and or the proximity to existing and incompatible land uses/zoning, all land may not be suitable to be subdivided for the purpose of dense development (LDC §200A-75).

Staff has reviewed the submitted Master Plan and Phase I/IA Development Plan for The Boulders of Hendersonville, taking into consideration the recommendations of the *Henderson County 2020 Comprehensive Plan* and reviewing the plan for conformance with Henderson County Land Development Code. Staff offers the following comments:

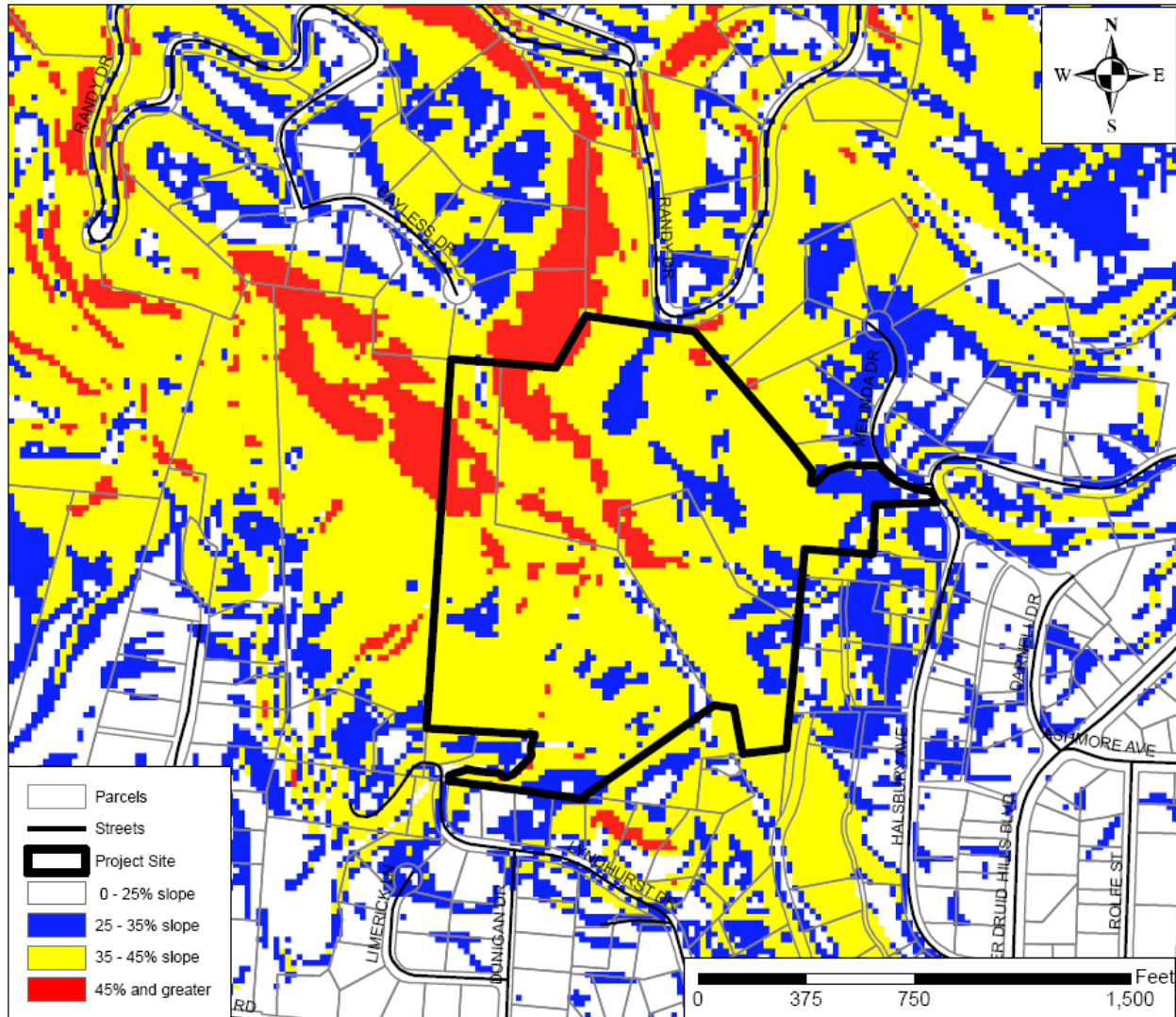
1. **Henderson County 2020 Comprehensive Plan (CCP).** The Future Land Use Map of the CCP shows the project site as being located within each of the following areas: Conservation Area and Urban Services Area (USA) (See Map A: CCP Future Land Use Map).
  - (a) **Conservation Area.** The conservation area designation is applied to a majority of the project site, largely due to slope and a protected mountain ridge (See Map A: CCP Future Land Use Map, Map B: Slopes Map, and Map C: Protected Ridges). The overwhelming majority of slopes within the project site appear to be in excess of 25 percent, with portions having slopes in excess of 60 percent. According to the plan, only a minority of the steep slope areas within the project site appear to be located in designated common area/open space. The CCP states that conservation lands “are

intended to remain largely in their natural state, with only limited development,” and further that “such areas should be targeted for protection through regulations and incentives” (2020 CCP, Pg. 134). Lots which contain slopes in excess of 60 percent include the following 21 lots: C9, C10, C11, C5, C6, P1, P2, P12, P10, P8, W3, W8, W11, E1, E2, E3, E4, E5, E6, E7, E8 (See Attachment 4, Master Plan). Should the Technical Review Committee wish to recommend approval of the Revised Master Plan, Planning Staff recommends that, where possible, the applicant reconfigure lots and alter the design of the development so that slopes in excess of 60 percent remain in common area/open space.

**Map A: CCP Future Land Use Map**



**Map B: Slope map**

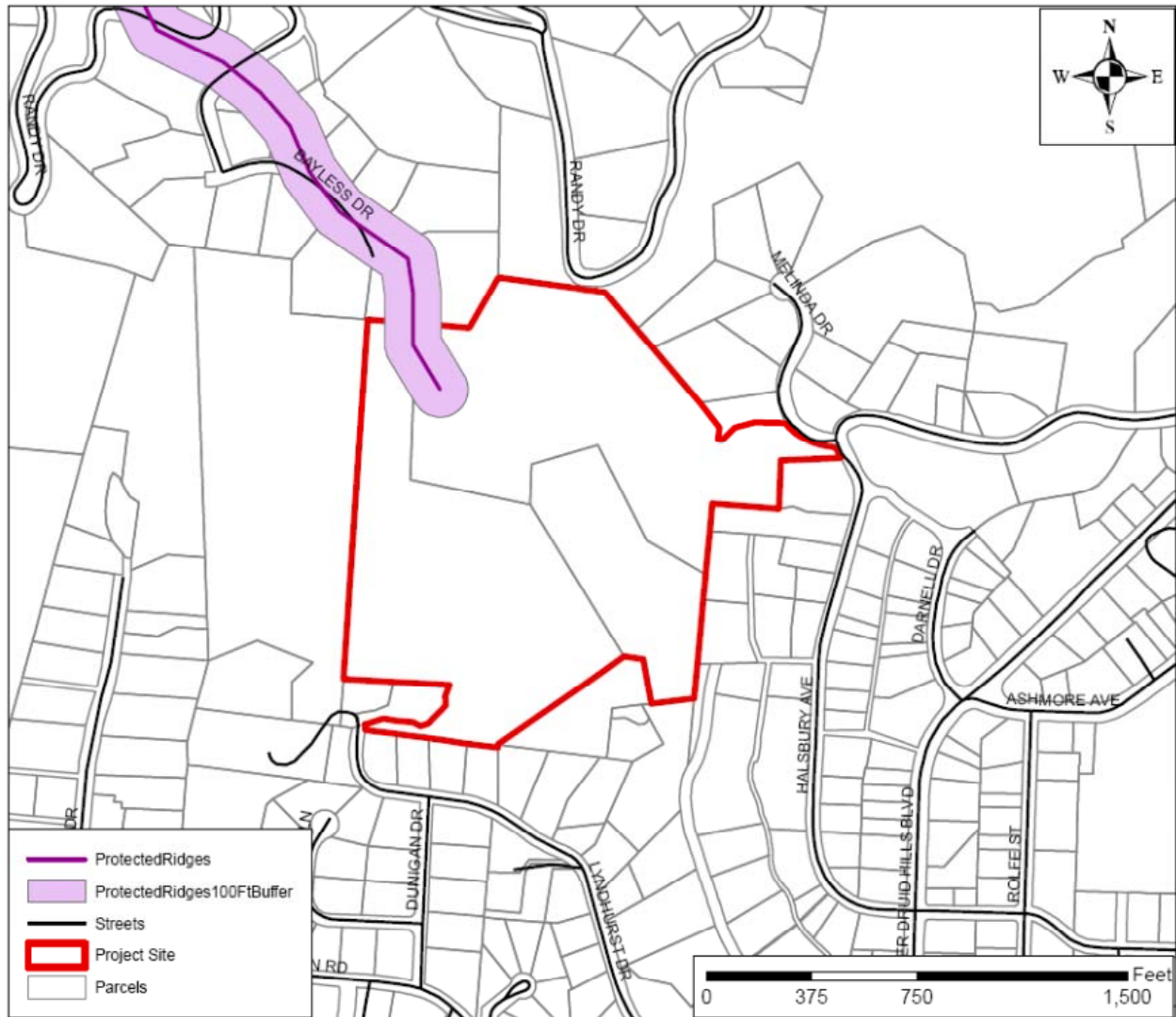


(b) **Urban Services Area.** The Urban Services Area (USA) designation of the Growth Management Strategy is applied to the project site. The USA is that area within which most urban services and urban-scale development is currently concentrated, and within which such development should generally be concentrated through the year 2020 (CCP, Pg. 128). The text and map of the 2020 CCP suggest that wide ranges of residential densities will exist in the USA. Over the long term, land use regulations and policies should favor higher density development, consistent with natural constraints and the availability of urban services. At the same time, policies and regulations should protect existing less-intensely developed communities. (CCP, Pg. 133)

According to the plan, the project would have an average density of approximately 1.4 units per acre. The CCP states that higher density residential development should be

concentrated in the Urban Services Area and that regulations should target Conservation Area and areas with steep slopes for protection.

**Map C: Protected Mountain Ridges Map**



- 2. Protected Mountain Ridges.** The project site appears to contain an area effected by the Mountain Ridge Protection Ordinance which states that the provisions of NCGS 113A-209 apply to all mountain ridges in Henderson County whose elevation is 500 feet or more above the adjacent valley floor (Map C: Protected Mountain Ridges). NCGS 113A-209 states that no county may authorize the construction of, and no person may construct, a tall building or structure on any protected mountain ridge. The definition of a tall building found in NCGS

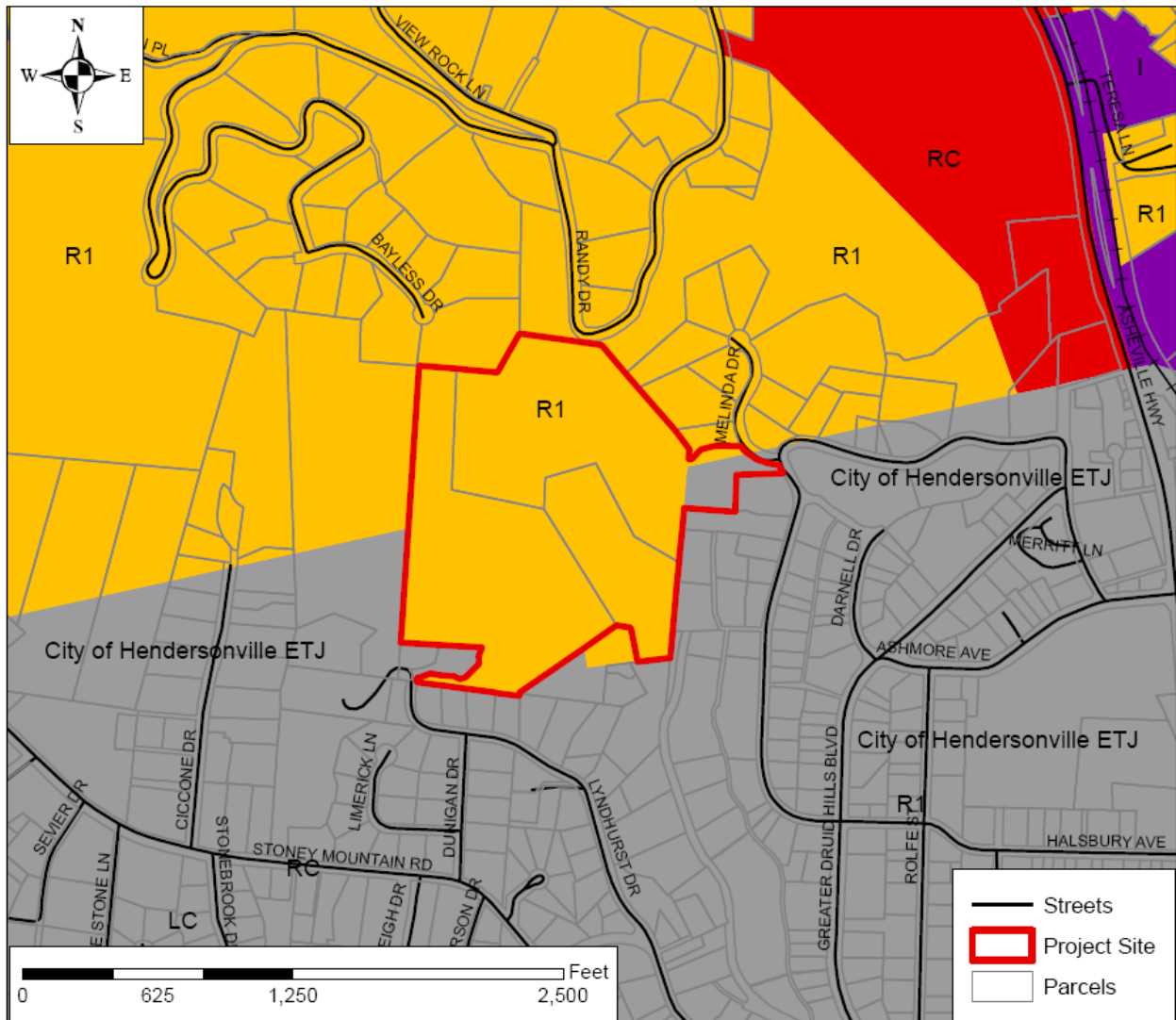
113A-206 is any building with a vertical height of more than 40 feet measured from the top of the foundation and the uppermost point of the building. Additionally, where such foundation measured from the natural finished grade of the crest or the natural finished grade of the high side slope of a ridge exceeds three (3) feet, then such measurement in excess of three (3) feet shall be included in the 40-foot limitation provided that no such building protrudes at its uppermost point above the crest of the ridge by more than 35 feet. The area of ridge under protection is defined as the elongated crest or series of crests at the apex or uppermost point of intersection between two (2) opposite slopes or sides of a mountain, and includes all land 100 feet below the elevation of any portion of such line or surface along the crest. Planning Staff recommends, as a condition of approval, that the Applicant shall adhere to the Mountain Ridge Protection regulations of the County which state that the provisions of NCGS 113A-209 apply to all mountain ridges whose elevation is 500 feet or more above the adjacent valley floor. Planning staff also recommends that the applicant be required to delineate the protected ridge area on the development plan(s) showing the area within 100 feet below the crest(s).

- 3. Chapter 200A, Henderson County Land Development Code (LDC).** According to Chapter 200A, Henderson County Land Development Code (LDC) and its Official Zoning Map adopted September 19, 2007 (as amended), the proposed project site is located within the Residential One (R1) (See Map D:Official Zoning Map). The R1 district allows for single-family residential development.

Combined, tracts 1, 2, & 3 includes 41.7 acres. R1 allows for a standard residential density of 4 units per acre where the slope is less than 60 percent. At total of 34.9 acres are in this category, meaning 139 units would be permitted within this acreage. Where slopes are 60 percent or greater, the density shall be one-half( $\frac{1}{2}$ ) of the eligible density (2 units per acre). A total of 6.8 acres of the project site are in this category, meaning a total of 13 units would be permitted. Therefore, the LDC allows for a maximum of 153 units on the project site. The Master Plan proposal of 59 units would fall within the density permitted by the LDC.

The eastern portion of tract 1 is within the City of Hendersonville's Extra Territorial Jurisdiction (ETJ). According to the submitted Master Plan no lots or units are proposed within this area.

### Map D: Official Zoning Map

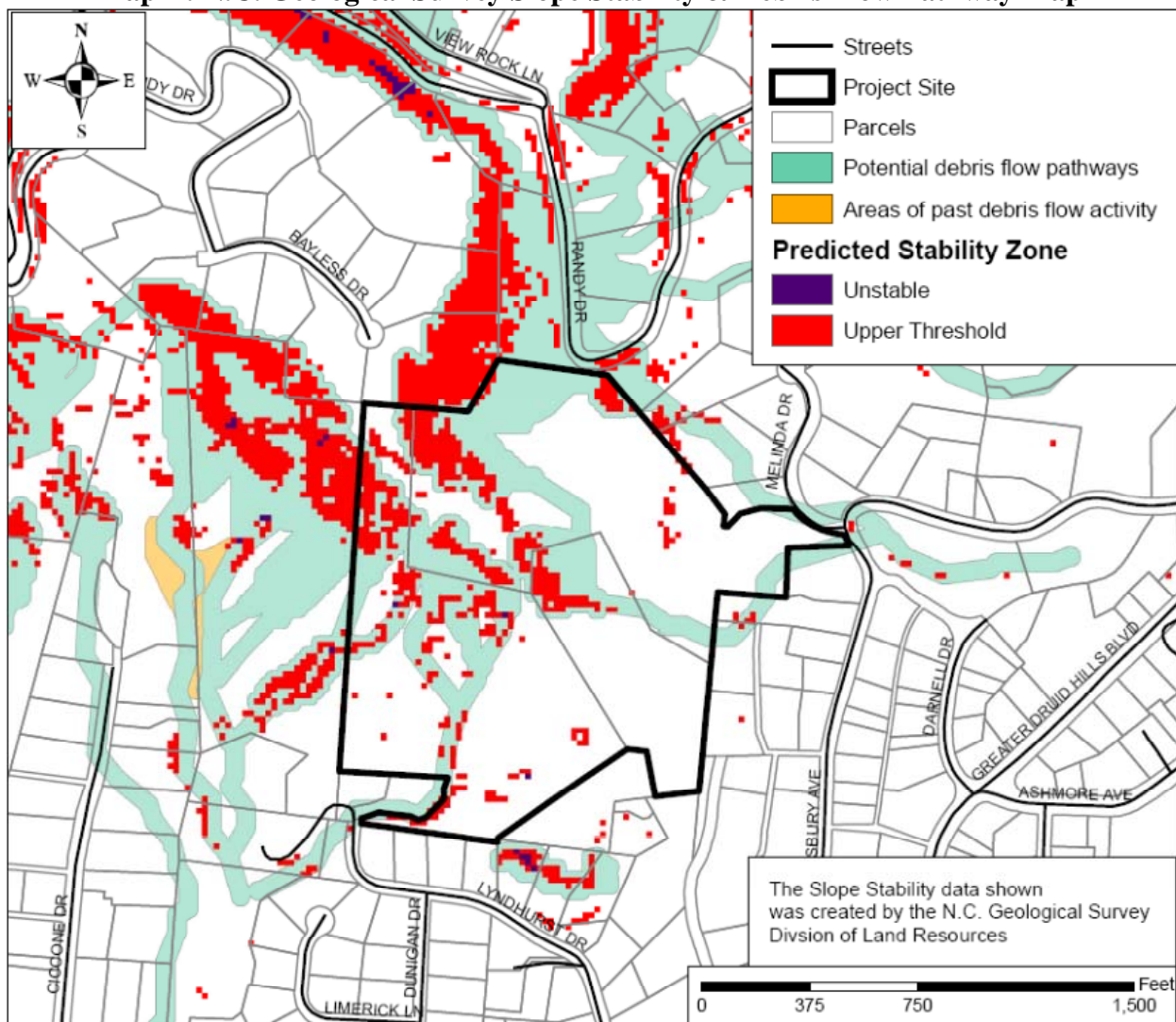




- Stability Index, Slope Movement, and Potential Debris Flow Pathways:** In 2011, the North Carolina Geological Survey created maps showing potential landslide hazard areas in Henderson County. The production of maps came from a variety of sources. However, they were not created by Henderson County personnel nor have said maps been adopted by Henderson County. Maps and data provided are shown for informational purposes only and should only be used as a screening tool to determine if additional on-site geotechnical evaluation is warranted.

According to the geotechnical engineer hired by the applicant, Douglas Dunko P.E., no apparent unstable areas were observed within the planned residential home locations (report dated March 22, 2012). Some minor, near surface, unstable areas along the existing logging road were noted and already addressed by the developer through the project design.

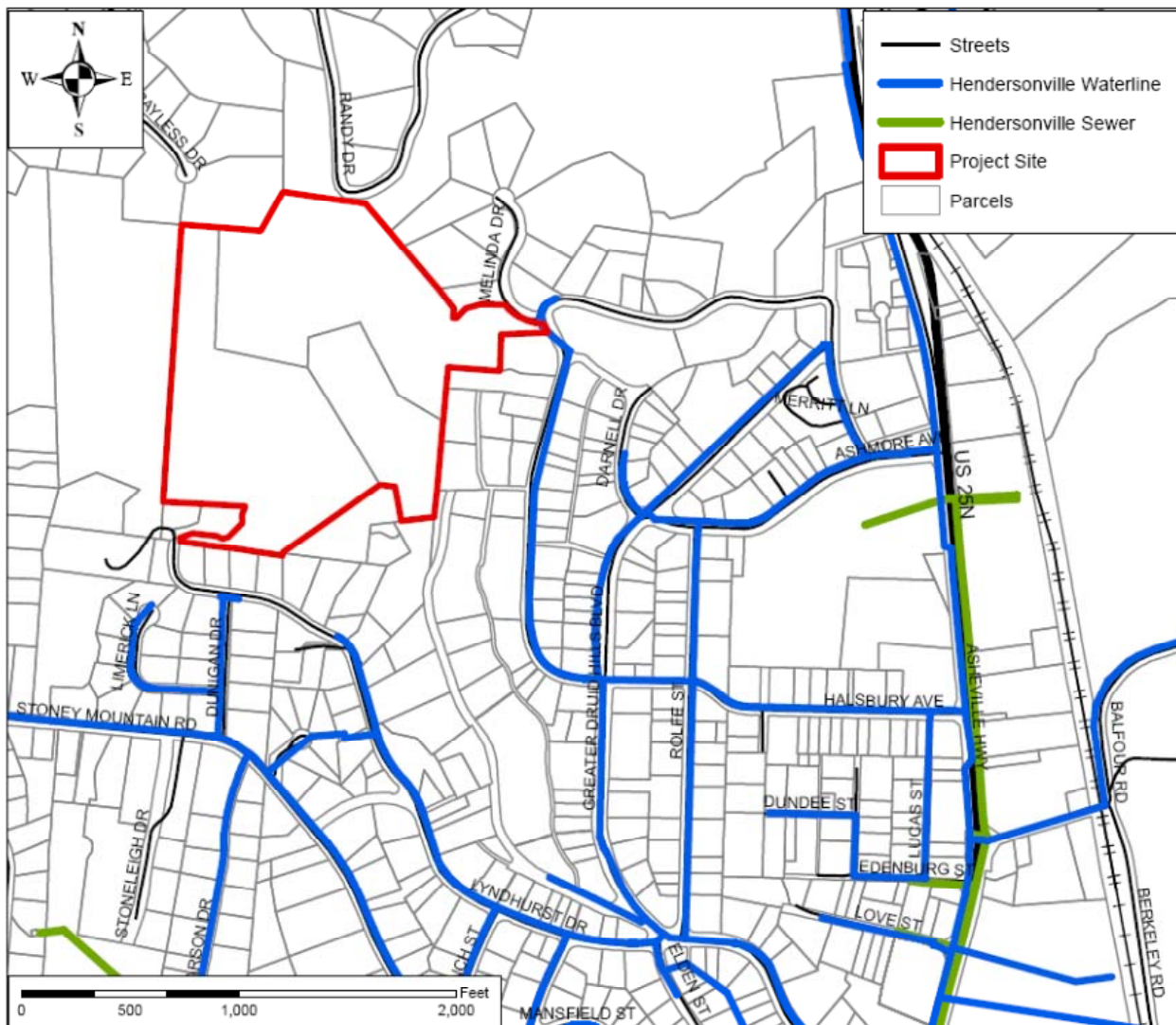
**Map E: N.C. Geological Survey Slope Stability & Debris Flow Pathway Map**



- 5. **Water and Sewer Availability.** Applicant proposes a public connection to the City of Hendersonville water system on Melinda Drive. The water system within the project site is proposed to be private. The distance to public water from the project site on Melinda drive is 100 feet. The distance to public water from the project site on Lyndhurst Drive is 400 feet.

Applicant proposes private septic systems. Master plan provides a distance to public sewer (from Randy Drive to US 25 N) of 3,500 feet. The site is not close enough to public sewer to require connection (LDC §200A-113 C.5).

**Map F: Public Water and Sewer Map**



**Master & Development Plan Comments:**

1. **Soil Erosion and Sedimentation Control Plan.** The Applicant shall submit written notice from the appropriate local agencies verifying that an Erosion and Sedimentation Control Plan has been received or a written notice from a professional land surveyor, engineer, landscape architect, architect, or professional planner certifying that no plan is required (LDC §200A-113B).
2. **Fire Protection Requirements.** The Henderson County Fire Marshall and Planning Department determined that in-house sprinkler systems for each residential dwelling proposed in the Boulders of Hendersonville project would be acceptable as an adequate fire suppression alternative. Sprinkler systems will be required to be built to the National Fire Protection Association standard 13D for the installation of sprinkler systems in residential occupancies.

Because the applicant is choosing to provide in-house fire sprinklers in lieu of providing fire hydrants within the development, as a condition of approval, the applicant shall enter into a binding agreement in the form of a restrictive covenant between the applicant and the County regarding provision of in-house sprinklers. Such provision shall require constructing each home with a 13D sprinkler system. The Subdivision Administrator shall review and approve the restrictive covenant language prior to recordation by the applicant.

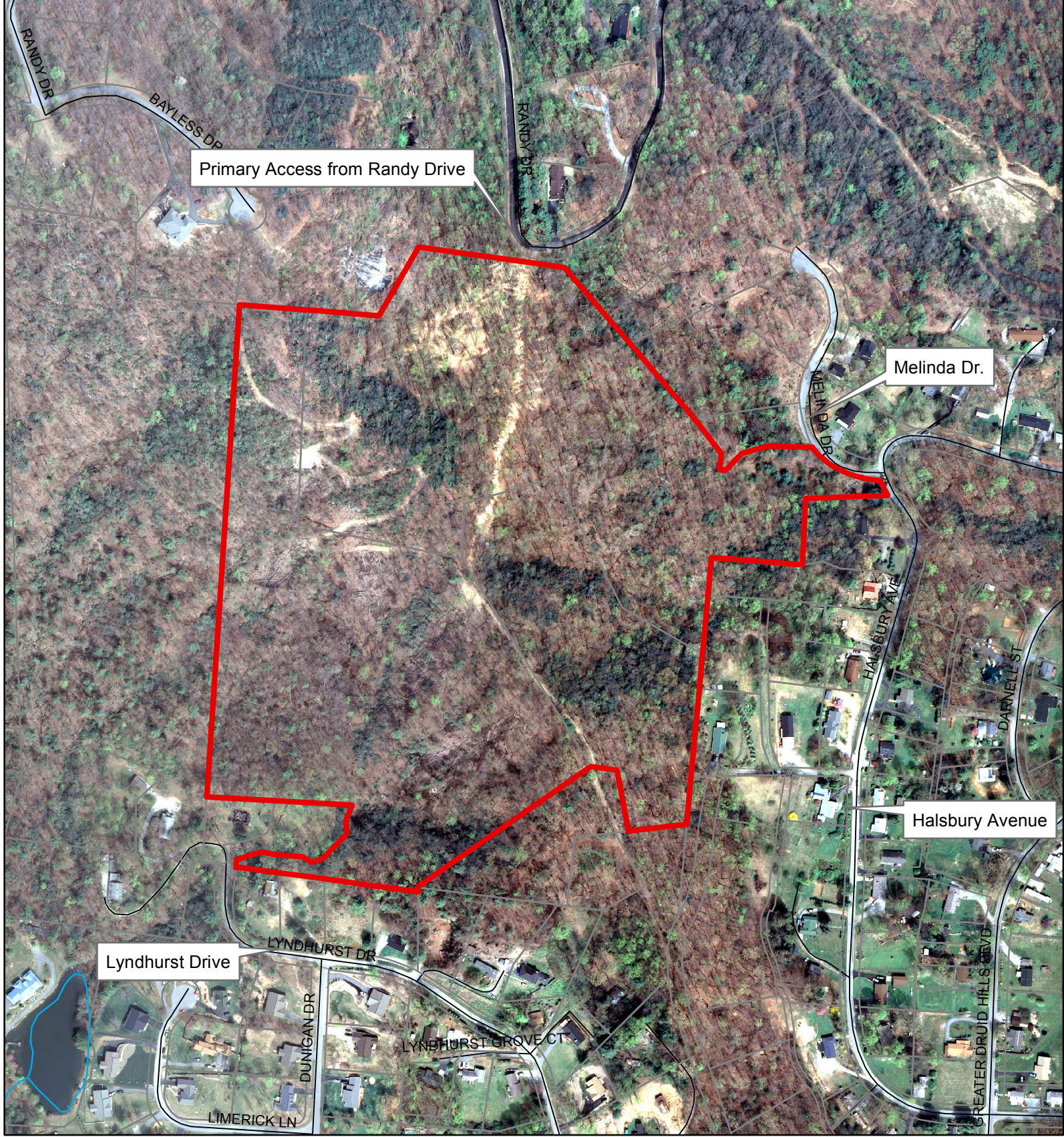
3. **Private Roads.** Phase I and Phase 1A are proposed to include private roads. Private subdivision collector roads include: Boulder Vista Drive. Private subdivision local roads include: Garnet Way and Private Local road A (PH 1A), and Slate Way. Private subdivision limited local roads include: Quartz Trail. In Phase 1 and Phase 1A the applicant is proposing three (3) private driveway easements, shown as “Shared Drive” 1, 2, and 3. The proposed private roads appear to and must, as a condition of approval, meet the standards of LDC §200A-104. The final plat(s) must contain a note stating: *The private roads indicated on this final plat may not meet the requirements of the North Carolina Department of Transportation for acceptance into the state road system.* Planning Staff proposes the following conditions to ensure the private roads meet the standards of the Land Development Code:
  - a. **Road Drainage and Culverts.** Road or drainage structures shall be constructed in accordance with state roads standards. Road drainage side ditches shall be constructed with sufficient depth and width to carry the expected volume of storm water runoff (LDC §200A-100).
  - b. **Road Construction.** A professional engineer or professional land surveyor certify on the final plat that no portion of the constructed roads have grades that exceed maximum allowable grade as defined for each class of road or submit a final as-built graded center line profile showing grade and alignment for all roads (LDC §200A-82).
  - c. **Minimum Curve Radius.** Should the Applicant requests a reduction in centerline radii, that a professional engineer or professional land surveyor certify on the final plat, the existing cross slope of roadway sections where reductions in centerline radii are requested (LDC §200A-106 C) In phase One the applicant is requesting a 4

curve radii reductions along Garnett Way, one with the intersection of Slate Way and Garnett Way. Also requesting three curve radii reductions along Boulder Vista Drive, and two more along the western section of Slate Way. Approval of the Development Plan(s) will approve the requested reductions in minimum curve radius.

- e. **Dead Ends, Cul-de-sacs and Turnarounds.** The Applicant proposes three (3) branch turnarounds or turnarounds located at the end of local road A, Boulder Vista Drive, and Garnett Way. All turnarounds must meet of the LDC §200A-105 C(8). The reviewing agency may require additional turnarounds at intermediate locations along dead end roads with a centerline length of greater than 2,500 feet (LDC §200A-105D). The applicant should provide revised Phase 1 and Phase 1A Development Plans with showing cross sections of all proposed turnarounds that meet the requirements of the LDC §200A-105 C(8).
4. **Road Access & Second Project Entrance.** As a condition of approval, when the total lot amount within the Boulders of Hendersonville project area reaches 35 lots the applicant/owner will be required to construct the second entrance connecting to Melinda Drive as shown on the Master Plan within Phase 3.
5. **Site Geological Analysis and Engineering Observations.** As a condition of approval, the applicant shall abide by the recommendations of a licensed professional geotechnical engineer of his choosing. Additionally, after the completion of each phase of the project, the applicant shall provide documentation from said geotechnical engineer certifying that such recommendation(s) have been followed and achieved.
6. **Open Space: Conservation Subdivision Standards.** Of the approximate 41.73 acres within the project site, 25.2% (10.5 acres) is proposed as conservation area. This amount, meets the 25% conservation area requirement for the Conservation Subdivision Option in the Land Development Code.
7. **Permanent Protection of Open Space and Management of Open Space.** The applicant submitted a management plan for all proposed open space. Requirements for the plan can be found in §200A-88C. Open Space proposed for a conservation subdivision shall be protected in perpetuity by a binding legal document that is recorded with the deed. The document shall be one of the following 3 options: Permanent Conservation Easement, Permanent Restrictive Covenant, or an equivalent legal tool that provides permanent protection. Proof of a recorded legal instrument as well as an Open Space Management Plan must be submitted to the Planning Department before the final plat for the subdivision can be approved (§200A-88 C & D)
8. **Street Tree Requirements.** According to the street tree requirements of Chapter 200A (LDC §§200A-176 & 178) the applicant must provide one tree per 50 linear feet of property abutting an internal road. Trees may be placed in groups with a minimum spacing of no less than 15 feet and a maximum spacing of no more than 65 feet. The trees must be placed within the right-of-way or within 20 feet of the edge of the right-of-way. The applicant may use existing trees in accordance with §200A-153 instead of planting new trees. These existing trees must also be located within

the right-of-way or 20 feet of the edge of the right-of-way as required by §200A-178. It appears that the applicant is proposing sixty six (66) trees to satisfy the street tree requirements. A number of these trees are located outside of the right-of-way but within 20 feet of the edge of the right-of-way within proposed lots. The TRC and the applicant should discuss how these trees will be protected. The TRC may alter street tree requirements for a number of reasons including existing vegetation, provided the plan is equal or superior to normal compliance (LDC §200A-176). All street trees must be properly planted and meet the spacing requirements or the applicant may post an improvement guarantee with the County before the final plat can be approved. Planning Staff recommends that street trees outside the ROW be protected by requiring a platted easement or restriction preventing lot owners from removing trees designated as meeting the street tree requirement.

9. **Shoulder Stabilization.** All areas disturbed by the construction of a private road, including cut and fill slopes, shoulders and ditch banks, shall be seeded to stabilize the soil and prevent erosion. Seeding should be done as soon as feasible after road construction (LDC §200A-97).
10. **Road Name Approval.** Proposed road names for a private and/or public road shall be preapproved by Henderson County in accordance with Chapter 142 of the Henderson County Code, Property Addressing (LDC §200A-98). The applicant lists the proposed road names for most road segments. The names of the shared drives should be confirmed with the development plan approval.
11. **Protected Mountain Ridges.** Planning Staff recommends, as a condition of approval, that the Applicant shall adhere to the Mountain Ridge Protection regulations of the County which state that the provisions of NCGS 113A-209 apply to all mountain ridges whose elevation is 500 feet or more above the adjacent valley floor. Planning staff also recommends that the applicant be required to delineate the protected ridge area on the development plan(s) showing the area within 100 feet below the crest(s).
12. **Subdivision Names.** The final plat shall contain certification that the public records of the County have been searched and the proposed subdivision name meets the standards set forth in this Chapter (LDC §200A-85).
13. **Miscellaneous Advisory Provisions.** The Applicant should become familiar with the Miscellaneous Advisory Provisions of Chapter 200A (LDC §200A-87).
14. **Final Plat Requirements.** The Final Plat(s) must meet the requirements provided by the Planning Department whenever a subdivision of land occurs (LDC §200A-343).
15. **Private Driveway Easements.** Final plats must contain a note conveying maintenance responsibility of the easement to the homeowners' utilizing it to access their property. The note shall state easement(s) must be maintained to allow clear passage for emergency response vehicles. Where private driveway easements are used, the surveyor or engineer shall place and execute the surveyors certificate shown in the LDC §200A-104D.



Primary Access from Randy Drive

Melinda Dr.

Halsbury Avenue

Lyndhurst Drive

LYNDHURST DR

LYNDHURST GROVE CT

DUNGAN DR

LIMERICK LN

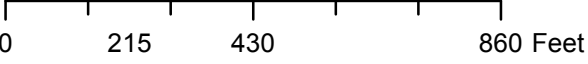
GREATER DRUID HILLS BLVD

DARNELL ST



	Streets
	Project Site
	Parcels

The Boulders of Hendersonville  
 Major Subdivision Application  
 2012-M01  
 Peter Brower, owner/applicant



**HENDERSON COUNTY  
SUBDIVISION APPLICATION FORM**  
(Please fill out all applicable items)

**SUBDIVISION INFORMATION**

Subdivision Name: BOULDERS OF HENDERSONVILLE  
 Subdivision Type (Circle One): Major Minor Non-Standard Special  
 Proposed Use of Property (Circle One): Residential Commercial Industrial  
 Conservation Subdivision: Yes No Gated entrance to property: Yes / No - ? POSSIBLE (FUTURE)  
 Existing Number of Lots: 0 - MINOR SUBDIVISION APPROVED Total Number of Proposed Lots: 59  
 Total Number Proposed Units: 59 Proposed Density (units per acre): 1.4  
 Road System: ( ) Public  Private ( ) Combination Public and Private  
 Water System: ( ) Individual  Community  Municipal - MUNICIPAL CONNECTION W/ PRIVATE  
 Sewer System:  Individual ( ) Community ( ) Municipal COMMUNIT SYSTEM APPLIED FOR.

**PARCEL INFORMATION**

PIN: 9660-00-9720 Total Acreage: 41.738 Deed Book/Page: 1267/PS Township: HENDERSONVILLE  
 Location of property to be divided: RANDY DENE 122

Zoning District: R1 Fire District: MOUNTAIN HOME  
 Water Supply Watershed: HENDERSONVILLE / BETTON CREEK School District: BALFOUR / HENDERSONVILLE

Any portion of property within or containing the following:

Floodplain or floodway: Yes  No  Perennial streams: Yes  No  - AS SHOWN.  
 Protected mountain ridges: Yes  No  Cemetery: Yes  No

Within 1/2 mile of a Farmland Preservation District: Yes  No   
 Adjacent to a Farmland Preservation District: Yes  No

**CONTACT INFORMATION**

Property Owner:  
 Name: Peter Brower Phone: 561-212-7319  
 Address: 6806 Via Regina City, State, Zip: Boca Raton FL 33433

Applicant:  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Agent: Agent Form (Circle One): Yes No  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Plan Preparer:  
 Name: CREATIVE DEVELOPMENT SOLUTIONS Phone: 828-696-9992  
 Address: 1603 4th AVENUE WEST City, State, Zip: HENDERSONVILLE, NC, 28739

I certify that the information shown above is true and accurate and is in conformance with the Subdivision regulations of Henderson County.

Peter Brower  2/27/2014  
 Print Applicant (Owner or Agent) Signature Applicant (Owner or Agent) Date

County Use Only  
 Fee: \$ \_\_\_\_\_ Paid: \_\_\_\_\_ Method: \_\_\_\_\_ Final Plat Approved On: \_\_\_\_\_

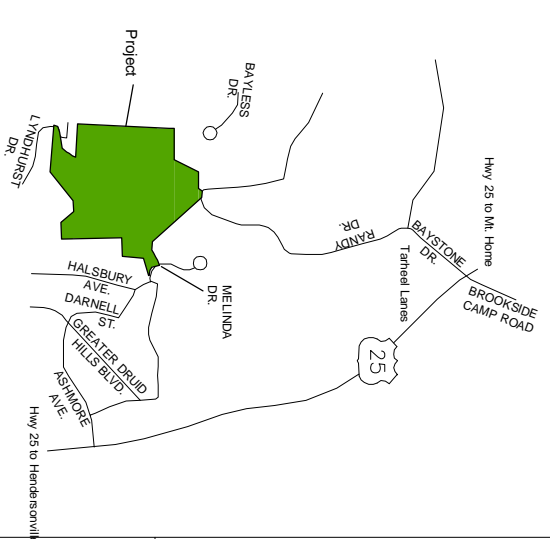
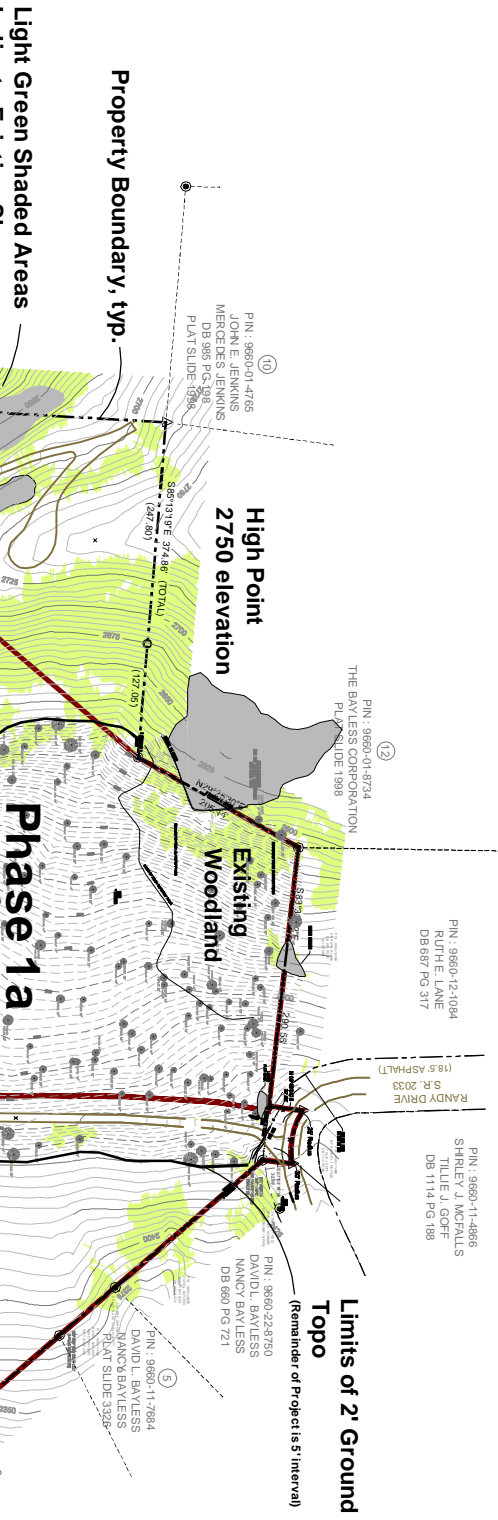
**Survey Legend:**

- PB... DEED BOOK
- DB... DEED BOOK
- PG... PAGE
- RLM... RIGHT-OF-WAY
- FE... FENCE
- IP... IRON PIPE FOUND
- PKS... PK NAIL SET
- COAK... CHESTNUT OAK
- UN... UNMARKED POINT
- FL... FENCE LINE
- POB... POINT OF BEGINNING
- RYA MON... RYM MONUMENT
- APPX... APPROXIMATE
- TR... TREE LINE

**Survey References**

- PIN # 9660-00-9720
- DB 604 PG 53
- DB 416 PG 665
- DB 515 PG 419
- DB 459 PG 313
- DB 604 PG 513
- DB 660 PG 121
- DB 840 PG 524
- DB 1041 PG 186
- DB 164 PG 235
- DB 528 PG 11
- DB 1040 PG 614
- DB 514 PG 331
- DB 614 PG 284
- DB 460 PG 393
- DB 501 PG 217
- DB 651 PG 317
- DB SLIDE 1942
- PLAT SLIDE 3742
- PLAT SLIDE 76

**TOTAL AREA OF SURVEY**  
41.738 ACRES

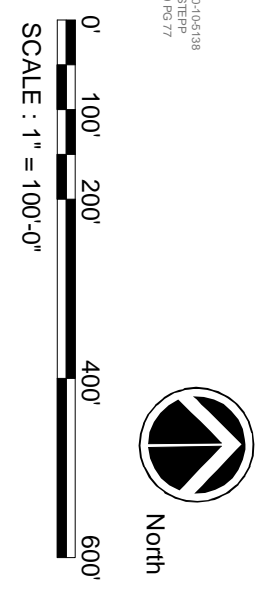
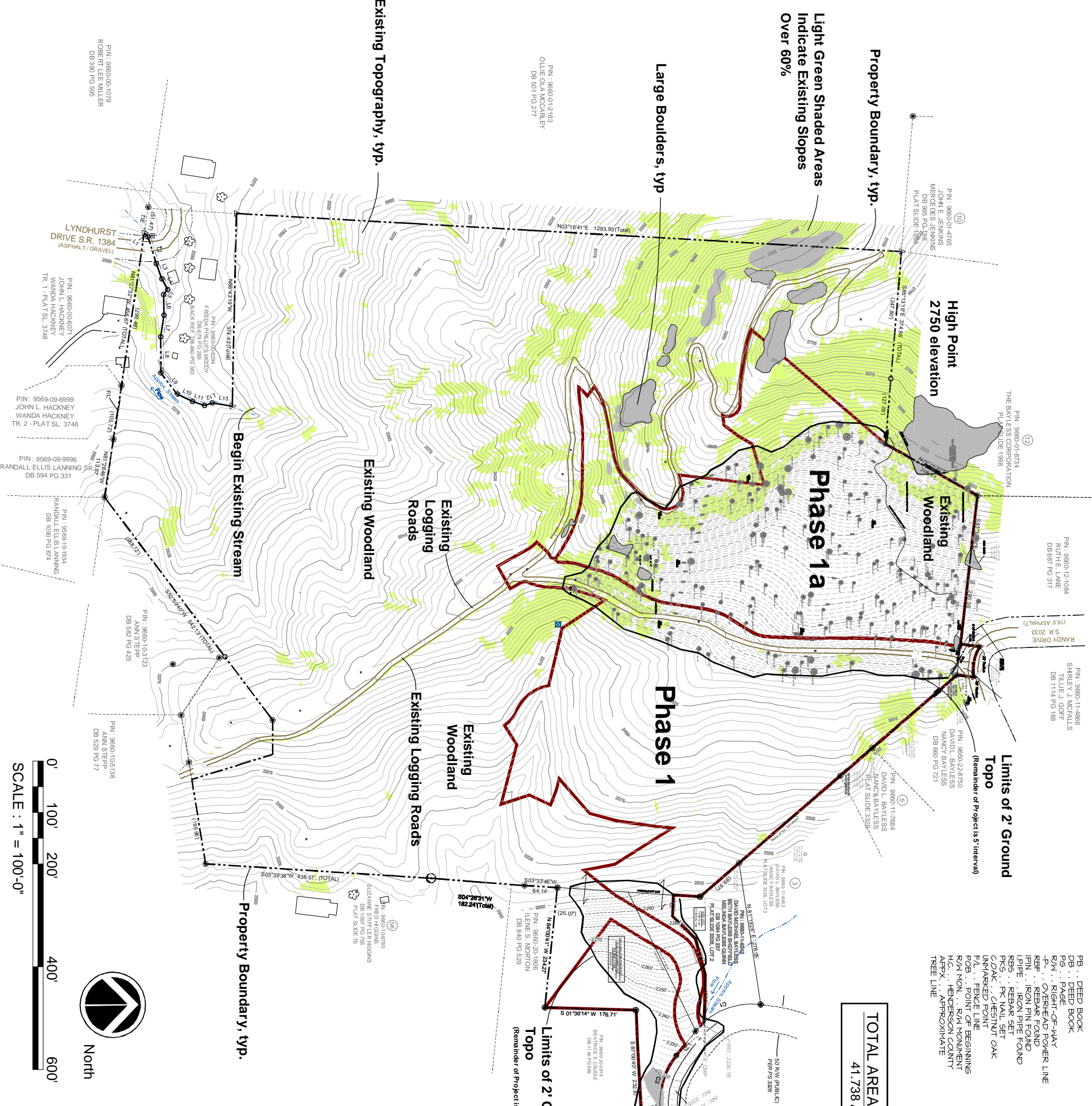


LINE	LENGTH	BEARING
L1	0.99	N45°07'29"E
L2	54.44	N72°41'31"E
L3	31.82	N69°54'59"E
L4	23.55	N62°21'31"E
L5	12.42	S59°52'39"E
L6	46.20	N89°42'29"E
L7	42.47	S81°42'18"E
L8	70.10	N69°53'13"E
L9	52.01	N62°36'12"E
L10	33.25	N63°37'35"E
L11	24.57	N18°32'01"E
L12	13.95	N18°38'59"W
L13	39.16	N69°21'11"E
L14	73.44	N68°38'54"W
L15	33.45	N65°35'19"W
L16	46.20	N79°00'30"W
L17	22.32	S89°36'18"W
L18	38.82	S86°31'11"W
L19	40.73	N60°55'30"W
L20	68.48	S81°23'27"W
L21	49.49	S89°47'25"W
L22	37.83	N69°22'01"W

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	137.86	142.76	138.47	N22°09'34"W
C2	148.41	114.22	114.42	N73°53'53"W

**Survey Notes**

- THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP EFFECTIVE DATE 2007.
- PROPERTY SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO THOSE SHOWN HEREON.
- SURVEYOR HAS NOT PROVIDED WITH A LEGAL TITLE SEARCH. THERE MAY EXIST EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, TITLE EVIDENCE, OR ANY OTHER FACTS PERTINENT TO THIS PROPERTY THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE THAT ARE NOT SHOWN ON THIS SURVEY.
- SURVEYOR AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR CONSIDERED AS PART OF THIS SURVEY. NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS, OR FACILITIES THAT MAY AFFECT THE USE OF THIS PROPERTY.
- ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES. THE COMBINED GRID FACTOR IS 0.94976366.
- AREAS BY COORDINATE COMPUTATION.
- SUBJECT PROPERTY IS ZONED R1 BY HENDERSON COUNTY.
- SUBJECT PROPERTY PINS: 9660-11-4760, 9660-11-3344, 9660-00-9720, 9660-10-5646.
- THE TATHAM FARM PROPERTY (PIN 9660-00-9720) SHOWN HEREON IS SUBJECT TO A RIGHT OF EASEMENT AND EGRESS TO AND FROM A SPRING SITUATED ON THE TATHAM FARM PROPERTY, ALONG WITH A RIGHT OF WAY TO SAID SPRING PER DB 459 PG 513.
- THE TATHAM FARM PROPERTY (PIN 9660-00-9720) SHOWN HEREON RESERVES A RIGHT OF WAY OVER THE EAST LINE OF THE MCCOY PROPERTY (PIN 9660-00-6294) PER DB 459 PG 513.
- TOPOGRAPHICAL INFORMATION SHOWN HEREON PERFORMED BY PHOTOGRAMMETRIC SURVEY METHODS AND PROVIDED BY:



Existing Topography, typ.

Large Boulders, typ.

Property Boundary, typ.

Light Green Shaded Areas Indicate Existing Slopes Over 60%

High Point 2750 elevation

Existing Woodland

Phase 1a

Phase 1

Existing Logging Roads

Existing Woodland

Existing Logging Roads

Property Boundary, typ.

Begin Existing Stream

Property Boundary, typ.

Phase 2 Topo (Remainder of Project is 5 Interval)

Phase 1 Topo (Remainder of Project is 5 Interval)

Phase 2 Limits of 2' Ground Topo (Remainder of Project is 5 Interval)

Phase 1 Limits of 2' Ground Topo (Remainder of Project is 5 Interval)

<p><b>ISSUE DATE:</b> March 1, 2012</p> <p><b>REVISIONS:</b> County comments 9-16-12</p> <p><b>DESIGNED BY:</b> SB / EM</p> <p><b>DRAWN BY:</b> SB</p> <p><b>APPROVED BY:</b> SB</p>	<p><b>Designed By:</b></p> <p><b>cds</b> Creative Development Solutions</p> <p>landscape architecture   land planning   community and resort design</p> <p>1003 4th avenue west, hendersonville, north carolina 28739</p>	<p><b>Sheet:</b></p> <p>Henderson County Combined Master and Development Plan Conservation Subdivision Existing Conditions Survey</p>	<p><b>Project:</b></p> <p><b>THE BOULDERS</b> of Hendersonville</p>	<p><b>Client:</b></p> <p><b>Peter Brower</b></p> <p>6806 Via Regina Boca Raton, FL, 33433</p>	<p><b>Other Consultants</b></p> <p><b>Management:</b> McAbee and Associates</p> <p><b>Surveyor:</b> Civil Insights</p> <p><b>Civil Engineer:</b> Civil Insights</p>
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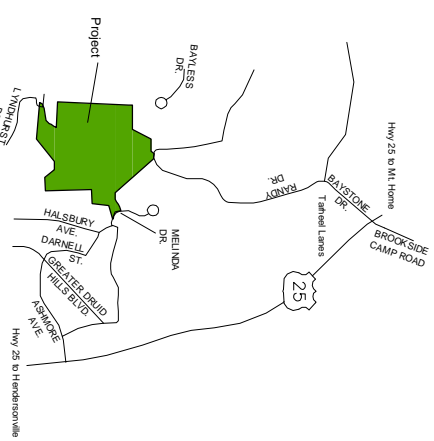


- Possible Phasing Plan**
- Phase 1 - Oak Ridge Lots 01-09 \*
  - Phase 1a - Cliffsides Lots c1-c12 \*\*
  - Phase 2 - Estate Lots e1-e8 \*\*
  - Phase 3 - Plateau Lots p1-p12 \*\*
  - Phase 4 - Oak Ridge Lots 01-015 \*\*
  - Phase 5 - Woodland Lots w1-w12 \*\*

\* Current Approved Minor Subdivision  
 \*\*There may be additional sub-phasing within neighborhoods per market conditions



To US Highway 25 - 7 Miles  
 To Hendersonville - 3.0 Miles  
 To Interstate I-26 - 3.0 Miles



VICINITY MAP  
 NOT TO SCALE

**Overall Project Summary**

Current Zoning Classification = R1  
 Total Project Area = 41.738 Acres  
 Number of Proposed Lots = 59  
 Density of Master Plan = 1.4 Lots Per Acre  
 Permitted Density of Property = 4 Units Per Acre  
 Acreage of Land with 60% slopes or greater = 6.8 acres  
 Minimum Lot size in square feet = 8,909 s.f.  
 Length of proposed private roads = 4,645 ft.  
 Length of proposed private shared driveways = 4,075 ft.  
 Proposed Water System = Public Connection, Private System  
 (City of Hendersonville from Melinda Drive)  
 Distance to Public Water System = 100' Melinda Drive / 400' Lyndhurst Drive  
 Proposed Sewer System = Private Septic Systems  
 Distance to Public Sewer System = 3500' Randy Drive to US 25  
 Perennial Streams Affected : None on Site  
 Area in Conservation/Open Space: 10.53 acres  
 25.2% of project area

**Development Notes**

- Existing Contours as shown at 2' (field) for Randy Drive Entrance, Melinda Drive Entrance and Cliffsides Lots (C1-C12). Topo is 5' (aerial) intervals for rest of the project.
- There are no known flood hazards, floodways or floodplains on the project.
- Project is located in Mountain Home Fire District. Project is less than 5 miles to station.
- All homes/buildings must use 13 D sprinkler systems.
- Road names are proposed and will be finalized with the County Property Addressing.
- There are no known farmland preservation districts adjacent to the property.
- A 10' Drainage and Utility Easement is reserved along all lot lines, 5' either side of interior lot lines and 10' inside of exterior lot lines.

**Conservation Areas**

Lot Number	Acreage
A	1.55
B	.52
C	.06
D	7.93
E	.24
F	.23
Total	10.53

**Estates Neighborhood**

Lot Number	Acreage
e1	.74
e2	.54
e3	.85
e4	.47
e5	.76
e6	.55
e7	.37
e8	1.61

**Cliffsides Neighborhood**

Lot Number	Acreage
c1	.45
c2	.25
c3	.20
c4	.26
c5	.27
c6	.88
c7	.23
c8	.27
c9	.71
c10	.59
c11	.61
c12	.82

**Oak Ridge Neighborhood**

Lot Number	Acreage
o1	.36
o2	.31
o3	.33
o4	.29
o5	.33
o6	.33
o7	.40
o8	.30
o9	.32
o10	.45
o11	.36
o12	.45
o13	.33
o14	.44
o15	.41

**Plateau Neighborhood**

Lot Number	Acreage
p1	.46
p2	.36
p3	.44
p4	.32
p5	.36
p6	.42
p7	.44
p8	.33
p9	.30
p10	.40
p11	.49
p12	.42

**Woodlands Neighborhood**

Lot Number	Acreage
w1	.37
w2	.33
w3	.40
w4	.46
w5	.37
w6	.32
w7	.45
w8	.56
w9	.43
w10	.53
w11	.61
w12	.49

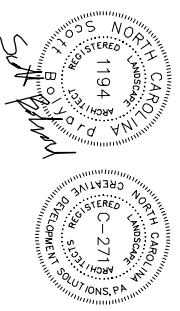
**Note:**  
 All homes/buildings must use 13 D sprinkler systems.



North



SCALE : 1" = 100'-0"



**Other Consultants**  
 Management: \_\_\_\_\_  
 Surveyor: **McAbee and Associates**  
 Civil Engineer: **Civil Insights**

**Client:**  
**Peter Brower**  
 6806 Via Regina  
 Boca Raton, FL, 33433

**Project:**  
**THE BOULDERS**  
*of Hendersonville*

**Sheet:**  
 Henderson County  
 Combined Master and  
 Development Plan  
 Conservation Subdivision  
 Master Plan

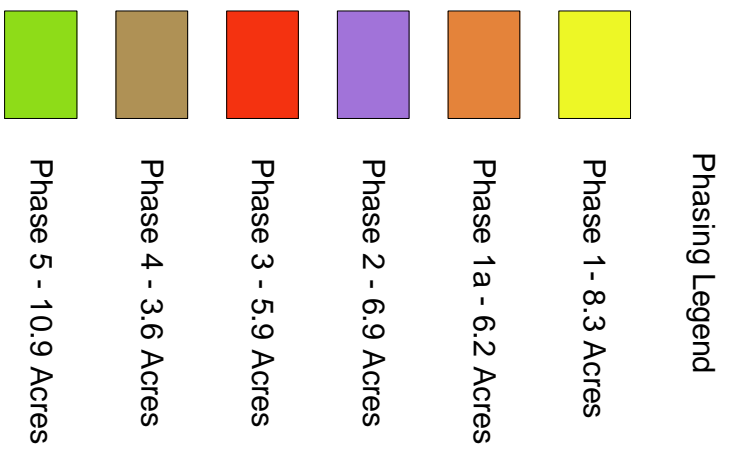
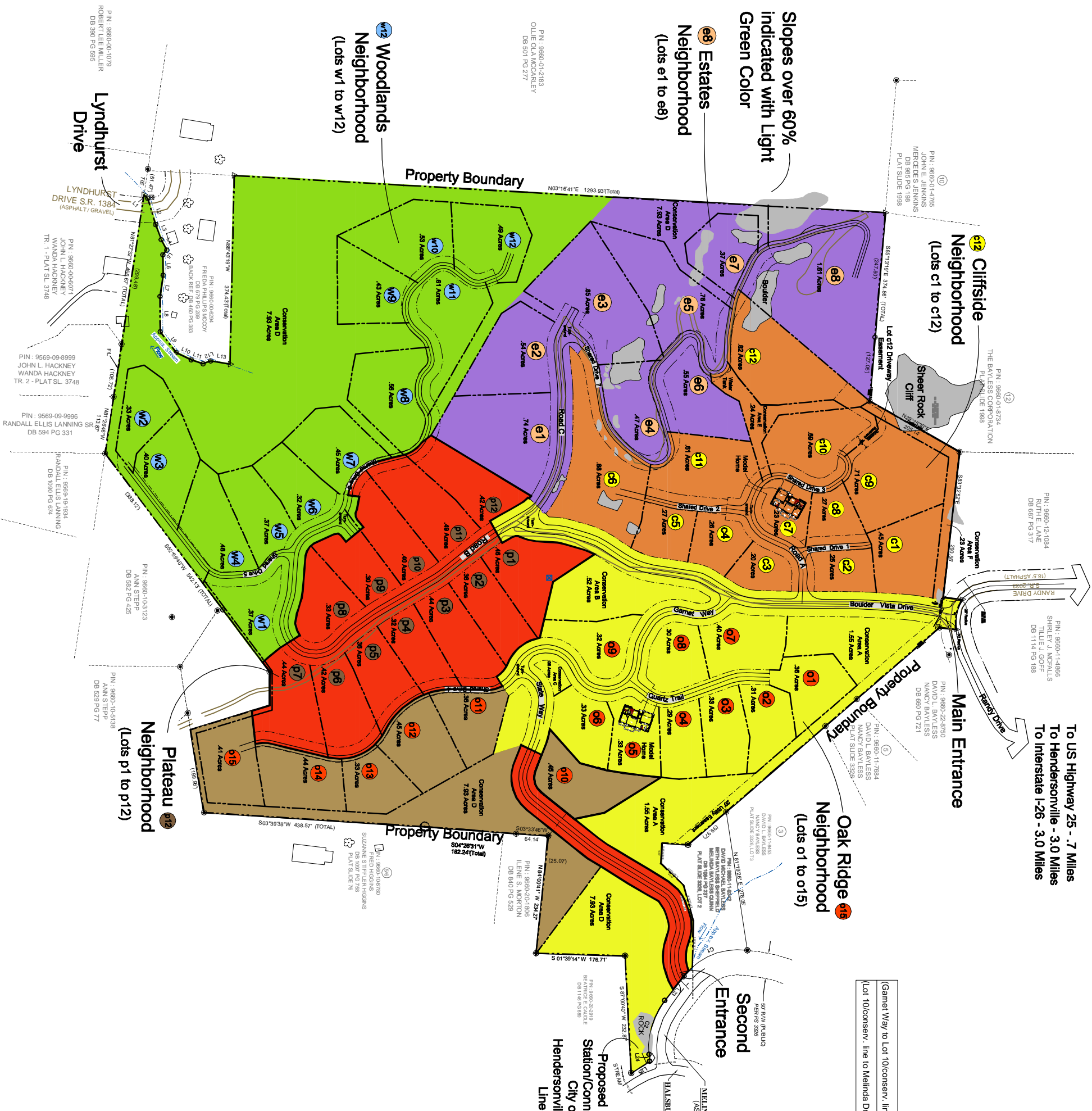
**Designed By:**  
**cds** Creative Development Solutions  
 landscape architecture | land planning | community and resort design  
 1003 4th avenue west, hendersonville, north carolina 28739  
 p 828 696 9992 | f 828 696 9964

**ISSUE DATE:** March 1, 2012  
**REVISIONS:** County comments 3-16-12  
**DESIGNED BY:** SB / TM / PB  
**DRAWN BY:** SB  
**APPROVED BY:** SB  
**Project Number:** \_\_\_\_\_  
**SHEET NUMBER:** L2

Roads Summary - All Private Roads

Road Name	Road Type	Road Length (ft)	Road Width (ft)	Impervious Area (sq ft)	Begin / End
Boulder Vista Drive	Collector	909'	18'	16,362	Randy Drive / turn-around
Road A	Local	280'	16'	4,480	Boulder Vista Drive / turn-around
Shared Drive 1	Private Driveway	149'	12'	1,788	Road A / Lot c1
Shared Drive 2	Private Driveway	211'	12'	2,532	Road A / Lot c5
Shared Drive 3	Private Driveway	261'	12'	3,132	Road A / Lot c10
Garnet Way	Local	631'	16'	10,096	Boulder Vista Drive / turn-around
Quartz Trail	Private Driveway	297'	16'	4,752	Garnet Way / Lot c1
Slate Way	Local	360'	16'	5,760	Garnet Way / Utility Reserve
Slate Way	Local	464'	16'	7,424	Utility Reserve / Melinda Drive
Shared Drive 4	Private Driveway	549'	12'	6,588	Garnet Way / Lot c15
Road B	Local	1,590'	16'	25,440	Boulder Vista Drive / turn-around
Shared Drive 5	Private Driveway	455'	12'	5,460	Road B / Lot w2
Shared Drive 6	Private Driveway	786'	12'	9,432	Road B / Lot w12
Road C	Local	411'	16'	7,264	Boulder Vista Drive / turn-around
Shared Drive 7	Private Driveway	1,367'	12'	16,404	Road C / Lot c8

To US Highway 25 - .7 Miles  
To Hendersonville - 3.0 Miles  
To Interstate I-26 - 3.0 Miles



Roads Summary - All Private Roads

Road Name	Road Type	Road Length (ft)	Road Width (ft)	Impervious Area (sq ft)	Begin / End
Boulder Vista Drive	Collector	909'	18'	16,362	Randy Drive / turn-around
Road A	Local	280'	16'	4,480	Boulder Vista Drive / turn-around
Shared Drive 1	Private Driveway	149'	12'	1,788	Road A / Lot c1
Shared Drive 2	Private Driveway	211'	12'	2,532	Road A / Lot c5
Shared Drive 3	Private Driveway	261'	12'	3,132	Road A / Lot c10
Garnet Way	Local	631'	16'	10,096	Boulder Vista Drive / turn-around
Quartz Trail	Private Driveway	297'	16'	4,752	Garnet Way / Lot c1
Slate Way	Local	360'	16'	5,760	Garnet Way / Utility Reserve
Slate Way	Local	464'	16'	7,424	Utility Reserve / Melinda Drive
Shared Drive 4	Private Driveway	549'	12'	6,588	Garnet Way / Lot c15
Road B	Local	1,590'	16'	25,440	Boulder Vista Drive / turn-around
Shared Drive 5	Private Driveway	455'	12'	5,460	Road B / Lot w2
Shared Drive 6	Private Driveway	786'	12'	9,432	Road B / Lot w12
Road C	Local	411'	16'	7,264	Boulder Vista Drive / turn-around
Shared Drive 7	Private Driveway	1,367'	12'	16,404	Road C / Lot c8

Client: **Peter Brower**  
6806 Via Regina  
Boca Raton, FL, 33433

Other Consultants:  
Management: **McAbee and Associates**  
Surveyor: **Civil Insights**  
Civil Engineer: **Civil Insights**

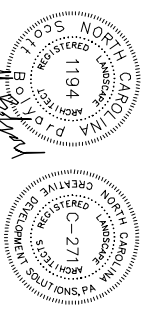
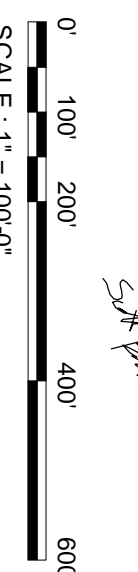
Project: **THE BOULDERS of Hendersonville**  
Phase I and Ia

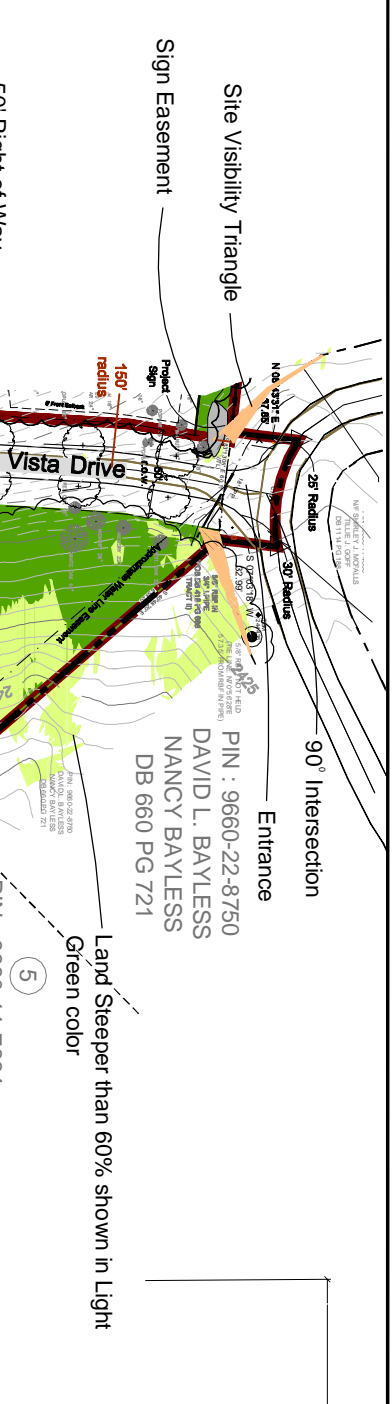
Designed By: **cds Creative Development Solutions**  
landscape architecture | land planning | community and resort design  
1003 4th avenue west, hendersonville, north carolina 28739  
p 828 696 9992 | f 828 696 9964

Issue Date: **March 1, 2012**

REVISIONS:

DESIGNED BY: SB / TM / PB  
DRAWN BY: SB  
APPROVED BY: SB





- NOTES:**
- ROAD SHALL BE CROWNED IN A DOUBLE CUT SITUATION.
  - ROAD SHALL BE CROWNED IN A DOUBLE FILL SITUATION.
  - ROAD SHALL BE SLOPED TOWARD CUT BANK WHERE A CUT AND FILL SITUATION OCCURS.
  - ALL ROADS TO RECEIVE TEMPORARY 2" WIDE GRAVEL SURFACE CONSISTING OF 6" DEPTH NCDOT "ABC" STONE AS EROSION CONTROL, NEARBY DURING CONSTRUCTION.
  - ALL MATERIALS AND ROAD CONSTRUCTION TO MEET CURRENT NCDOT STANDARDS FOR CONSTRUCTION.

**1**  
L4  
PROPOSED TYPICAL COLLECTOR ROAD SECTION  
NT 3

**Phase 1 and 1a Conservation Summary**

Phase 1 and 1a Project Area = 14.5 Acres
Acres in Conservation/Open Space: 3.7 acres 25.5% of project area
Conservation Area A - 1.55 acres - primary classification
Conservation Area B - .52 acres - secondary classification
Conservation Area C - .06 acres - secondary classification
Conservation Area D1 - .96 acres - primary classification
Conservation Area D2 - .14 acres - primary classification
Conservation Area E - .24 acres - primary classification
Conservation Area F - .23 acres - primary classification
Proposed Uses: Natural Woodland State

**Phase 1 Project Summary**

Current Zoning Classification = R1
Phase 1 Area = 8.3 Acres
Number of Proposed Lots = 9
Density of Master Plan = 1.1 Lots Per Acre
Permitted Density of Property = 4 Units Per Acre
Average of Land with 60% slopes or greater = .30 acres
Minimum Lot Size in square feet = 12,632 sq. ft.
Length of proposed private roads = 1,837 ft.
Length of proposed private shared driveways = 0 ft.
Proposed Water System = Public Connection, Private System (City of Hendersonville from Melinda Drive)
Distance to Public Water System = 100' Melinda Drive / 400' Lynchhurst Drive
Proposed Sewer System = Private Septic Systems
Distance to Public Sewer System = 3500' Randy Drive to US 25
Perennial Streams Affected: None on Site

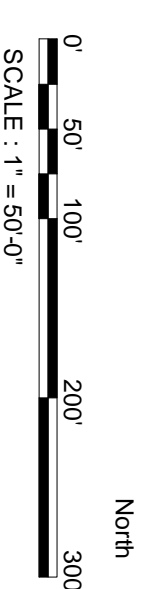
**Phase 1 Tree Summary**  
76 Total Trees

**Lot Setback Requirements**  
Front Building Setback = 5'  
Side Building Setback = 10'  
Rear Building Setback = 10'

**Development Notes**

A 10' Drainage and Utility Easement is reserved along all lot lines, 5' either side of interior lot lines and 10' inside of exterior lot lines.

\*60' to 80' (Asterisk) indicates a requested reduction in center line of curve radii for private limited local, private local, and private collector residential subdivision roads due to steep topography and at least 20% cross slope.



**Other Consultants**  
Management: McAbee and Associates  
Surveyor: Civil Insights  
Civil Engineer: Civil Insights

**Client:**  
**Peter Brower**  
6806 Via Regina  
Boca Raton, FL, 33433

**Project:**  
**THE BOULDERS**  
*of Hendersonville*  
Phase I and 1a

**Sheet:**  
Combined Master and Development Plan  
Conservation Subdivision  
Phase I Site Plan

**Designed By:**  
**cds** Creative Development Solutions  
landscape architecture | land planning | community and resort design  
224-F south grove street, hendersonville, north carolina 28792  
p 828 696 9992 | f 828 696 9964

**ISSUE DATE:** March 1, 2012  
**REVISIONS:**  
**DESIGNED BY:** SB  
**DRAWN BY:** SB  
**APPROVED BY:** SB

Project Number: \_\_\_\_\_  
SHEET NUMBER: **L4**



North



SCALE: 1" = 50'-0"



**Phase 1 and 1a Conservation Summary**

Phase 1 and 1a Project Area = 14.5 Acres  
 Acres in Conservation/Open Space: 3.7 acres  
 25.5% of project area

- Conservation Area A - 1.55 acres - primary classification
- Conservation Area B - .52 acres - secondary classification
- Conservation Area C - .06 acres - secondary classification
- Conservation Area D1 - .96 acres - primary classification
- Conservation Area D2 - .14 acres - primary classification
- Conservation Area E - .24 acres - primary classification
- Conservation Area F - .23 acres - primary classification

Proposed Uses: Natural Woodland State

**Phase 1a Project Summary**

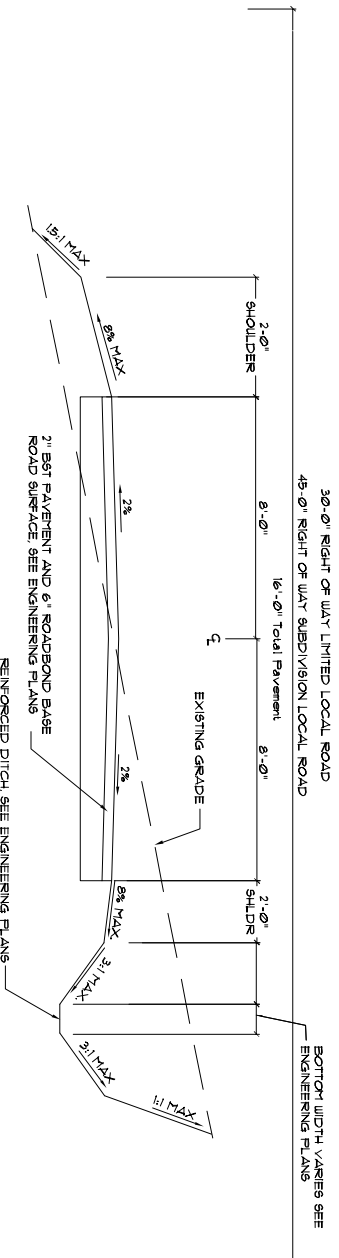
Current Zoning Classification = R1  
 Phase 1a Area = 6.2 Acres  
 Number of Proposed Lots = 12  
 Density of Master Plan = 1.9 Lots Per Acre  
 Permitted Density of Property = 4 Units Per Acre  
 Acreage of Land with 60% slopes or greater = 1.65 acres  
 Minimum Lot size in square feet = 8,809 s.f.  
 Length of proposed private roads = 2801 f.  
 Length of proposed private shared driveways = 621 f.  
 Proposed Water System = Public Connection, Private System (City of Hendersonville from Melinda Drive)  
 Distance to Public Water System = 100' Melinda Drive / 400' Lynchurst Drive  
 Proposed Sewer System = Private Septic Systems  
 Distance to Public Sewer System = 3500' Randy Drive to US 25  
 Perennial Streams Affected: None on Site

- Phase 1a Tree Summary
- Proposed Street Trees
- 13 Total Trees

- Lot Setback Requirements
- Front Building Setback = 5'
- Side Building Setback = 10'
- Rear Building Setback = 10'

**Development Notes**

A 10' Drainage and Utility Easement is reserved along all lot lines, 5' either side of interior lot lines and 10' inside of exterior lot lines.  
 \*60' to 80' (Asterisk) indicates a requested reduction in center line of curve radii for private limited local, private local, and private collector residential subdivision roads due to steep topography and at least 20% cross slope.



- NOTES:
1. ROAD SHALL BE GRAINED IN A DOUBLE CUT SITUATION.
  2. ROAD SHALL BE SLOPED TOWARD CUT BANK WHERE A CUT AND FILL SITUATION OCCURS.
  3. ROAD SHALL BE SLOPED TOWARD CUT BANK WHERE A CUT AND FILL SITUATION OCCURS.
  4. ALL ROADS TO RECEIVE TEMPORARY 12" WIDE GRAVEL SURFACE CONSISTING OF 6" DEPTH NEBOT, ABC STONE AS EROSION CONTROL, HEADLINE DURING CONSTRUCTION, AND ROAD CONSTRUCTION TO MEET CURRENT NEBOT STANDARDS FOR CONSTRUCTION.

NOTE: REDUCTION OF SHOULDER SIZE IS SHOWN IN EXISTING GRADERS STRIPPER THAN 15% SLOPES SURVEY



PROPOSED TYPICAL LOCAL ROAD SECTION  
 N.T.S.

**Other Consultants**  
 Management: **McAbee and Associates**  
 Surveyor: **Civil Insights**  
 Civil Engineer:

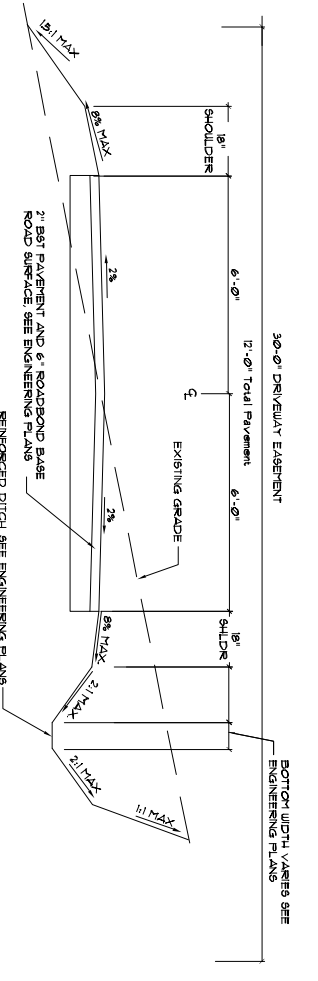
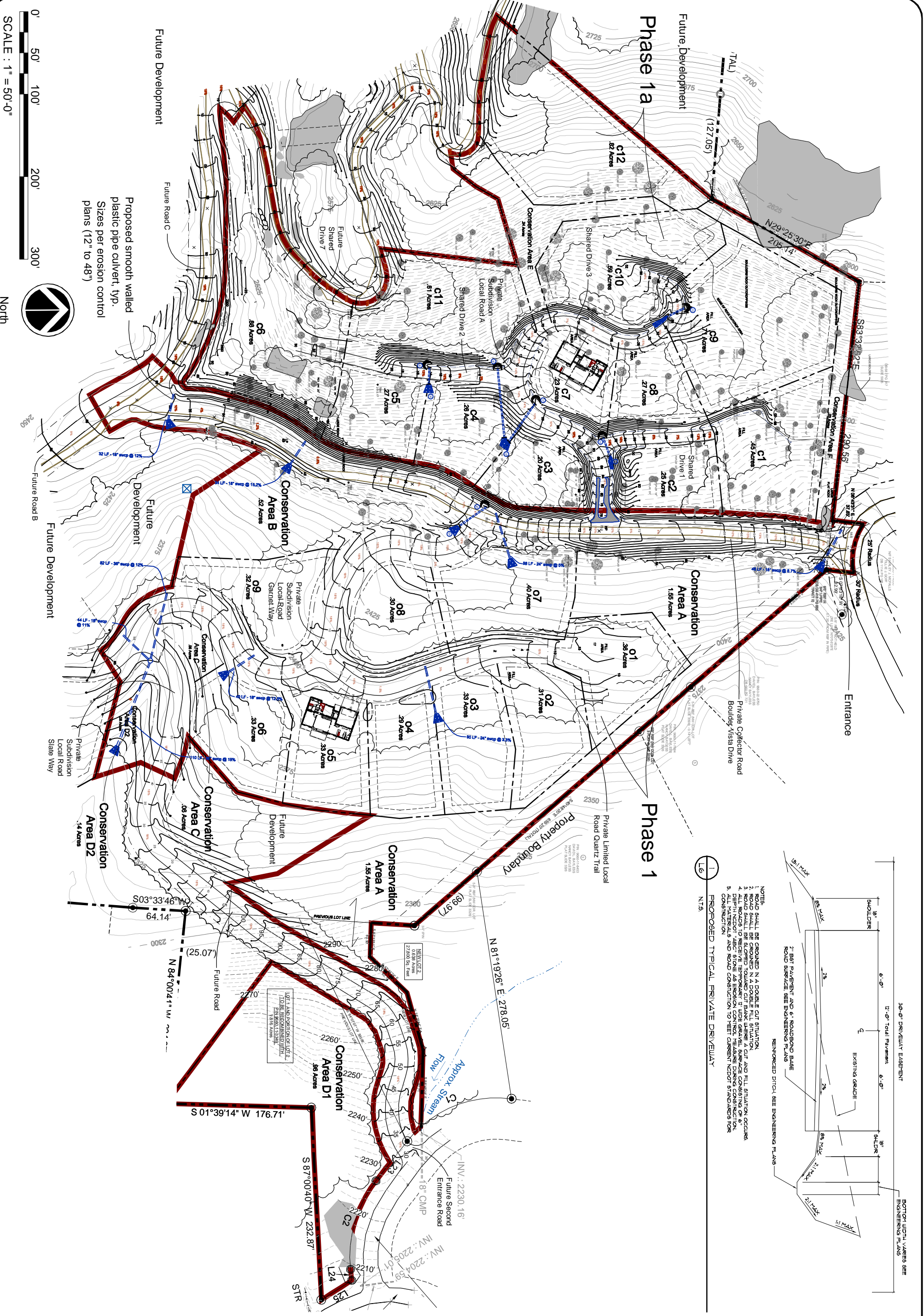
**Client:**  
**Peter Brower**  
 6806 Via Regina  
 Boca Raton, FL, 33433

**Project:**  
**THE BOULDERS**  
*of Hendersonville*

**Sheet:**  
 Combined Master and Development Plan  
 Conservation Subdivision  
 Phase 1a Site Plan

**Designed By:**  
**cds** Creative Development Solutions  
 landscape architecture | land planning | community and resort design  
 224-f south grove street, hendersonville, north carolina 28792  
 p 828 696 9992 | f 828 696 9964

**ISSUE DATE:** March 1, 2012  
**REVISIONS:**  
**DESIGNED BY:** SB  
**DRAWN BY:** SB  
**APPROVED BY:** SB



- NOTES:**
1. ROAD SHALL BE CROWNED IN A DOUBLE CUT SITUATION.
  2. ROAD SHALL BE CROWNED IN A DOUBLE HILL SITUATION.
  3. ROAD SHALL BE CROWNED IN A DOUBLE VALLEY SITUATION.
  4. ALL ROADS TO RECEIVE TEMPORARY EROSION CONTROL MEASURE DURING CONSTRUCTION OF 6" ASPHALT PAVEMENT SHALL BE CROWNED TO MEET CURRENT MCDOT STANDARDS FOR CONSTRUCTION.
  5. ALL MATERIALS AND ROAD CONSTRUCTION TO MEET CURRENT MCDOT STANDARDS FOR CONSTRUCTION.
- PROPOSED TYPICAL PRIVATE DRIVEWAY**  
 L6  
 N.T.S.

ISSUE DATE: March 1, 2012

REVISIONS:

DESIGNED BY:	SB
DRAWN BY:	SB
APPROVED BY:	SB

Project Number: \_\_\_\_\_  
 SHEET NUMBER: L6

**Designed By:**

**cds** Creative Development Solutions  
 landscape architecture | land planning | community and resort design  
 224-F south grove street, hendersonville, north carolina 28792  
 p 828 696 9992 | f 828 696 9964

**Sheet:**

Combined Master and Development Plan  
 Conservation Subdivision  
 Phase I and Ia Grading Plan

**Project:**

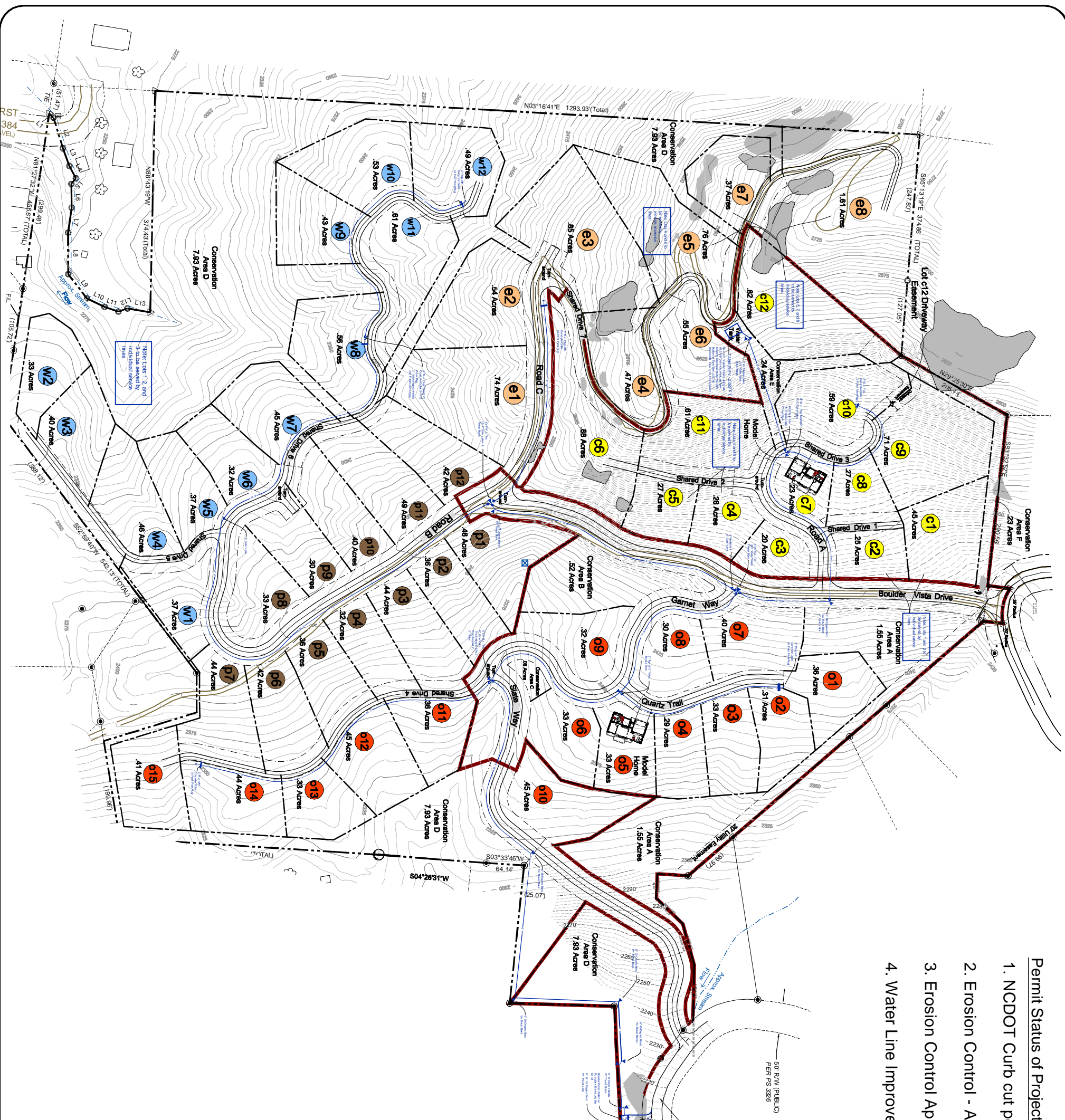
**THE BOULDERS**  
*of Hendersonville*

**Client:**

**Peter Brower**  
 6806 Via Regina  
 Boca Raton, FL, 33433

**Other Consultants**

**Management**  
 Surveyor: **McAbee and Associates**  
 Civil Engineer: **Civil Insights**



Permit Status of Project

1. NCDOT Curb cut permit - Approved.
2. Erosion Control - Approved for Phase 1.
3. Erosion Control Approval for Phase 1a - Submitted March 5, 2012
4. Water Line Improvements - Expected Approval April 1, 2012

Note:

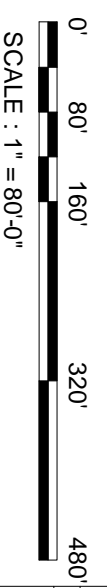
1. All homes/buildings must use 1/3 D sprinkler systems.

**CIVIL INSIGHTS,** INC.  
 PO BOX 1854  
 Simpsonville, South Carolina 29681  
 Phone: (864) 380-3992 • Fax: (864) 962-9669  
 Website: www.civilinsights.com

Consulting Engineering • Land Planning • Infrastructure



North



Other Consultants	
Management	
Surveyor:	McAbee and Associates
Civil Engineer	Civil Insights

**Client:**  
**Peter Brower**  
 6806 Via Regina  
 Boca Raton, FL, 33433

**Project:**  
 THE **BOULDERS**  
*of Hendersonville*

**Sheet:**  
 Henderson County  
 Combined Master and  
 Development Plan  
 Conservation Subdivision  
 Waterline Plans

**Designed By:**  

 Creative Development Solutions  
 landscape architecture | land planning | community and resort design  
 1003 4th avenue west, hendersonville, north carolina 28739  
 p 828 696 9992 | f 828 696 9964

<b>ISSUE DATE :</b>	March 1, 2012
<b>REVISIONS:</b>	
<b>DESIGNED BY:</b>	TM
<b>DRAWN BY:</b>	TM
<b>APPROVED BY:</b>	
<b>Project Number:</b>	
<b>SHEET NUMBER:</b>	L7