

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: January 21, 2014

SUBJECT: Major Site Plan Review Waffle House

PRESENTER: Toby Linville

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Major site plan review-Retail Sales and Service-Waffle House

SUGGESTED MOTION: I move that the TRC approve the major site plan for Waffle House



Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicant:** Waffle House
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9651492507
- 1.4. **Size:** .844 acres +/-
- 1.5. **Location:** The subject area is located on Asheville Hwy just north of I-26.
- 1.6. **Supplemental Requirements:**

SR 7.14. Retail Sales and Services Less than or Equal to 50,000 Square Feet (*Gross Floor Area*)

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

Map A: Pictometry/Aerial Photography



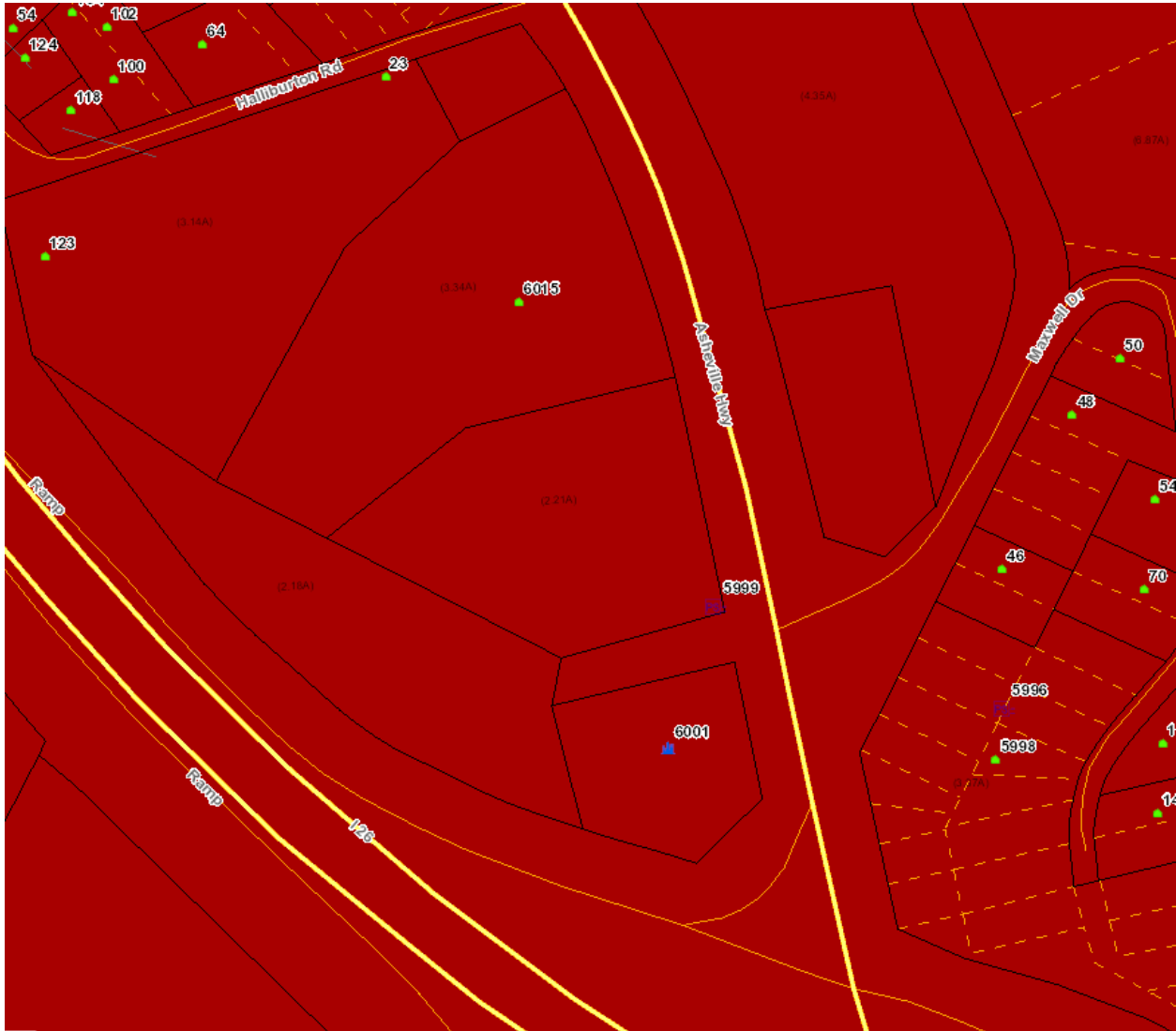
2. Current Conditions

2.1 Current Use: This parcel is currently in vacant.

2.2 Adjacent Area Uses: The surrounding properties consist of mixed commercial uses.

2.3 Zoning: The surrounding property to the north, east, west and south is zoned Regional Commercial (RC).

Map B: Current Zoning



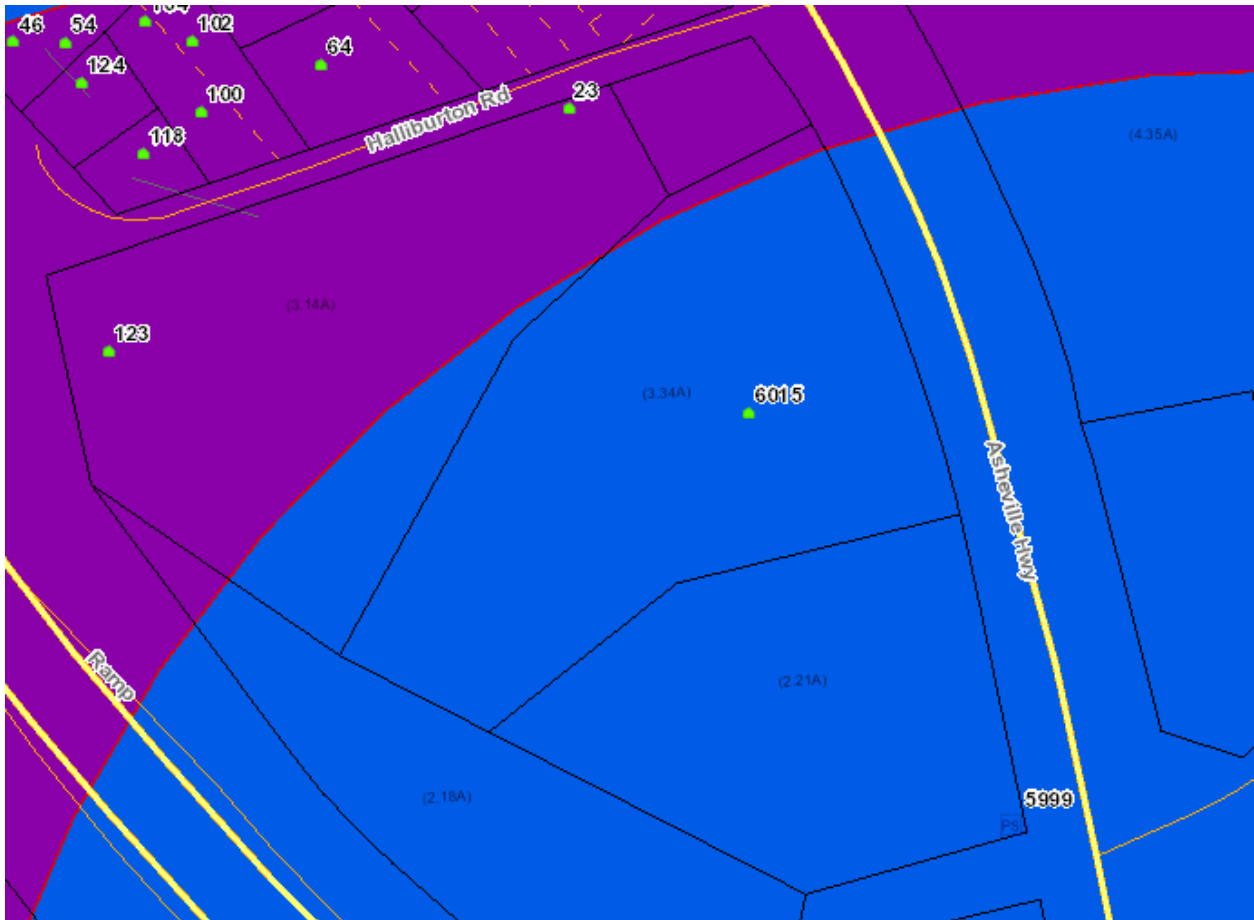
3. Floodplain /Watershed Protection The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

4. Water and Sewer This property will be served by public water and sewer.

Public Water: City of Hendersonville Water

Public Sewer: Cane Creek Sewer

Map C: CCP Future Land Use Map



5. Comprehensive Plan

The 2020 CCP: The CCP Future Land Use Map places the Subject Area in the Community Service Center Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

1. Community Service Centers are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. Community Service Centers are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and Community Facilities such as schools, parks, community centers, and other similar Community Facilities. The mixture and intensity of land uses contained within Community Service Centers are intended to be appropriate within the context of the surrounding community and intended service area. Community Service Centers should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures.

6. Staff Recommendations

6.1 Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

7. **Photographs**

Looking NE into property



Looking SW (Auto Advantage/Hardees)



Looking South (Hardees/I-26)

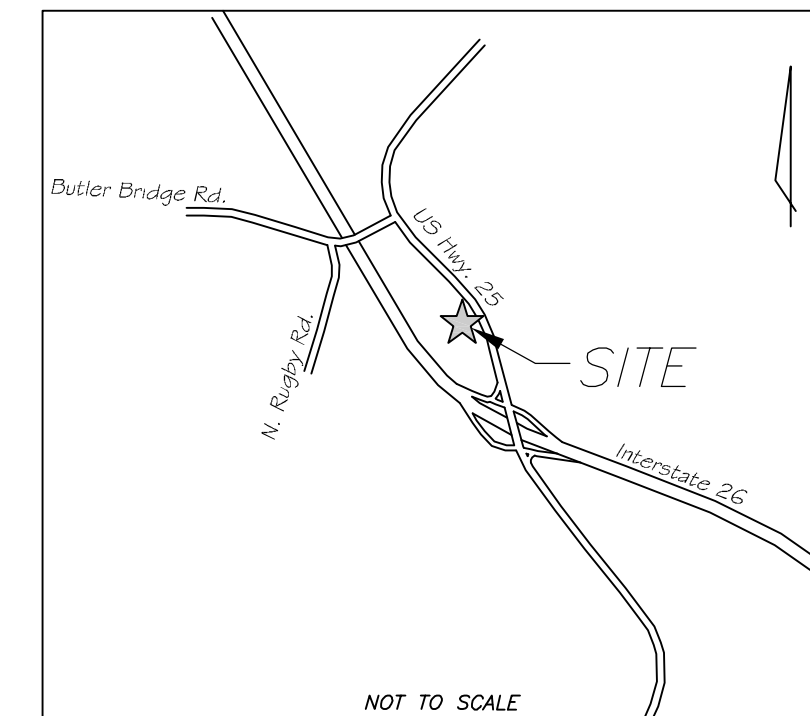


Looking E into property





LOCATION MAP



NOT TO SCALE

GENERAL NOTES:

OWNER:
WAFFLE HOUSE, INC.
 P.O. BOX 6450
 NORCROSS, GEORGIA 30091
 PHONE - (770) 729-5700
 CONTACT: KEN WILLIAMS

ENGINEER:
WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.
 NC LICENSE NO.: C-0566
 214 N. KING STREET, HENDERSONVILLE, NC 28792
 PHONE - (828) 687-7177
 CONTACT: WILLIAM R. BUIE, P.E.

CURRENT ZONING: REGIONAL COMMERCIAL

TOTAL TRACT CONTAINS 0.844± ACRES, 36,762± S.F.

PROPOSED BUILDING AREA = 1,806 S.F.
 DINING AREA = 633 S.F.
 GROSS FLOOR AREA = 1,694 S.F.
 NET FLOOR AREA = 1,571 S.F.
 RESTAURANT AREA ONLY = 1,005 S.F.

PARKING REQUIRED:
 TOTAL: 4 (1 PER 500 S.F. GROSS FLOOR)

PARKING PROVIDED:
 REGULAR - (8' x 19') 26 SPACES
 HANDICAPPED - (8' x 19') 2 SPACES
 TOTAL - 28 SPACES

SETBACKS:
 FRONT - 50' (BOULEVARD CLASSIFICATION)
 REAR - 10'
 SIDE - 10'

IMPERVIOUS SURFACE = 13,957 S.F.
 OPEN / UNDEVELOPED AREA = 11,606 S.F.
 DISTURBED AREA = 0.63± ACRES

NO CERTIFICATION OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.

ALL CONSTRUCTION TO COMPLY WITH HENDERSON COUNTY STANDARDS.

NOTIFY HENDERSON COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION.

PROJECT CONSTRUCTION DETAILS SHALL BE UTILIZED.

SURVEY NOTES:

BOUNDARY & TOPOGRAPHIC INFORMATION OBTAIN FROM SURVEY BY MCABEE AND ASSOCIATES, P.A., DATED 11-10-13, PH. (828) 628-1295

CONTOUR INTERVAL IS ONE (1) FOOT.

VERTICAL DATUM FOR TOPOGRAPHY IS NAVD BASED ON LOCAL BENCHMARK, GEI0012A

THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON SURFACE FIELD EVIDENCE AND INFORMATION SUPPLIED BY UTILITY AGENCIES. THE SURVEY MAKES NO CERTIFICATION AS TO THE COMPLETENESS OF THE LOCATIONS SHOWN HEREON. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.

THE PROPERTY IS NOT LOCATED IN A 100 YR. FLOOD HAZARD AREA AS DESIGNATED ON F.E.M.A. F.I.R.M. PANEL # 3700965100A, DATED 10-02-2008

TAX PARCEL No. PORTION OF 9651-49-2507

UTILITIES:

ELECTRICAL: DUKE ENERGY
 JIMMY VORIS (828) 6231

NATURAL GAS: PSC ENERGY
 TAMI MAYBIN (828) 670-3504

WATER SYSTEM: CITY OF HENDERSONVILLE (WATER DEPARTMENT)
 LEE SMITH (828) 697-3073

SANITARY SEWER: CANE CREEK WATER AND SEWER DISTRICT
 GREG WIGGINS (828) 694-6608

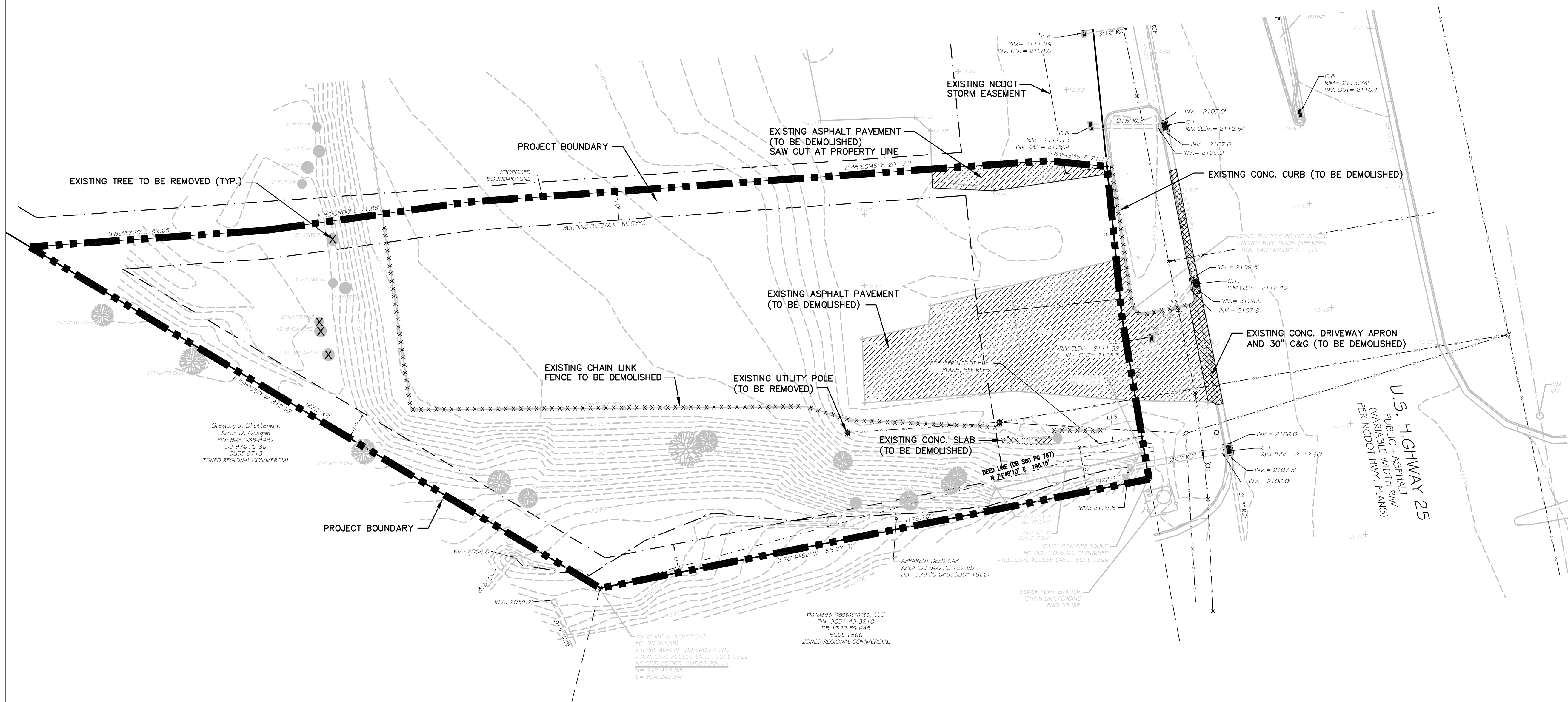
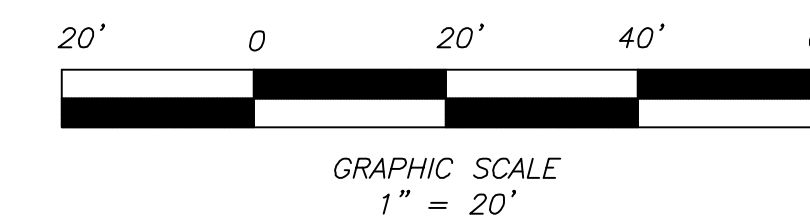
PHONE: AT&T
 CONNIE GUNTER (828) 698-6402

CABLE: MORRIS BROADBAND
 CHRIS MCCALL (828) 697-3600 ext.646



Know what's below.
 Call before you dig.

WAFFLE HOUSE, INC.	
APPROVALS	
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____

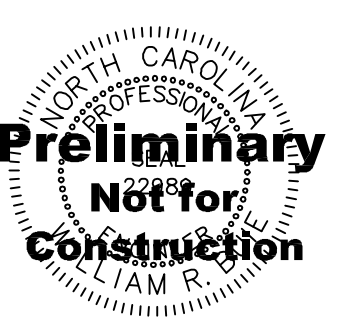


LEGEND

- - - - - EXISTING 1' CONTOUR
- ▨ PROPOSED ASPHALT DEMOLITION
- ▩ PROPOSED CONCRETE DEMOLITION
- ⊗ EXISTING TREE TO BE REMOVED
- ⊛ EXISTING UTILITY POLE TO BE REMOVED
- ***** EXISTING CHAIN LINK FENCE TO BE DEMOLISHED

NOTE: SITE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.

WILLIAM G. LAPSLEY & ASSOCIATES P.A.
 CONSULTING ENGINEERS & LAND PLANNERS
 NC LICENSE NO. C-0566
 214 N. KING STREET, HENDERSONVILLE, NC 28792
 (828) 687-7177
 www.williamlapsley.com



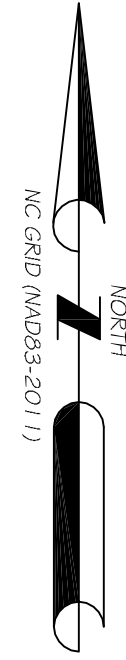
DEMOLITION PLAN for WAFFLE HOUSE UNIT # _____

REVISION DESCRIPTION	DATE

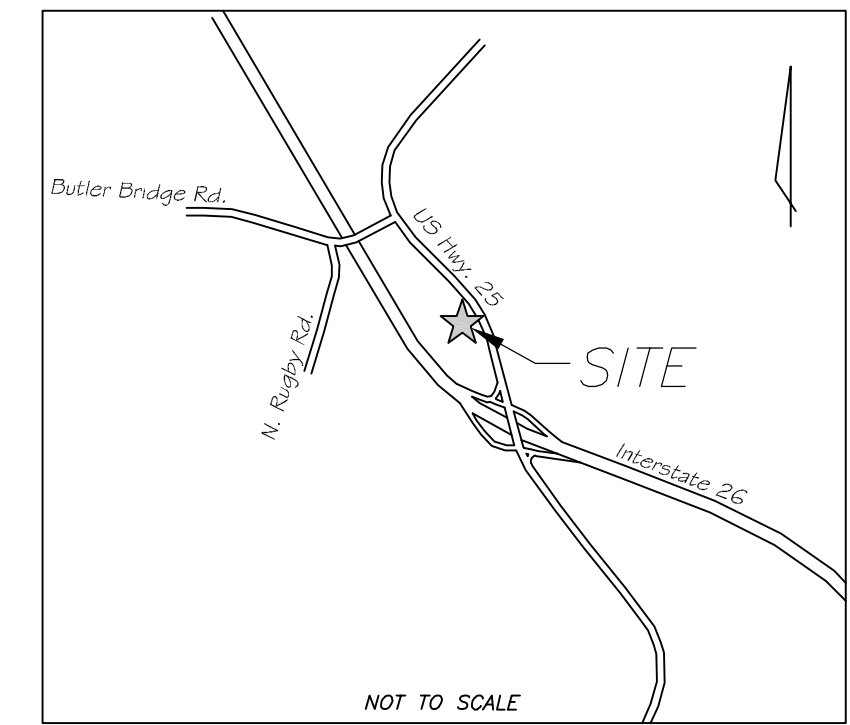
PROJECT NAME:
WAFFLE HOUSE
 UNIT # _____
 US HIGHWAY 25
 HOOPERS CREEK TOWNSHIP
 HENDERSON COUNTY
 NORTH CAROLINA

SHEET TITLE:
 DEMOLITION PLAN

PROJECT No. SHEET No.
 WAFXXX C-1
 DATE: XX/XX/XX of 8
 ISSUE No. 1



LOCATION MAP



NOT TO SCALE

GENERAL NOTES:

OWNER: WAFFLE HOUSE, INC. P.O. BOX 6450 NORCROSS, GEORGIA 30091 PHONE - (770) 729-5700 CONTACT: KEN WILLIAMS

ENGINEER: WILLIAM G. LAPSLEY AND ASSOCIATES, P.A. NC LICENSE NO.: C-0586 214 N. KING STREET HENDERSONVILLE, NC 28792 PHONE - (828) 687-7177 CONTACT: WILLIAM R. BUIE, P.E.

CURRENT ZONING: REGIONAL COMMERCIAL TOTAL TRACT CONTAINS 0.844± ACRES, 36,767± S.F.

PROPOSED BUILDING AREA = 1,806 S.F. DINING AREA = 633 S.F. GROSS FLOOR AREA = 1,694 S.F. NET FLOOR AREA = 1,571 S.F. RESTAURANT AREA ONLY = 1,005 S.F.

PARKING REQUIRED: TOTAL: 4 (1 PER 500 S.F. GROSS FLOOR)

PARKING PROVIDED: REGULAR - (9' x 19') 26 SPACES HANDICAPPED - (8'8" x 19') 2 SPACES TOTAL - 28 SPACES

SETBACKS: FRONT - 50' (BOULEVARD CLASSIFICATION) REAR - 10' SIDE - 10'

IMPERVIOUS SURFACE = 13,957 S.F. OPEN / UNDEVELOPED AREA = 11,606 S.F.

DISTURBED AREA = 0.63± ACRES NO CERTIFICATION OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.

ALL CONSTRUCTION TO COMPLY WITH HENDERSON COUNTY STANDARDS. NOTIFY HENDERSON COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION. PROJECT CONSTRUCTION DETAILS SHALL BE UTILIZED.

SURVEY NOTES:

BOUNDARY & TOPOGRAPHIC INFORMATION OBTAIN FROM SURVEY BY MCABEE AND ASSOCIATES, P.A., DATED 11-10-13, PH. (828) 628-1295

CONTOUR INTERVAL IS ONE (1) FOOT. VERTICAL DATUM FOR TOPOGRAPHY IS NAVD BASED ON LOCAL BENCHMARK, GEI0012A

THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON SURFACE FIELD EVIDENCE AND INFORMATION SUPPLIED BY UTILITY AGENCIES. THE SURVEY MAKES NO CERTIFICATION AS TO THE COMPLETENESS OF THE LOCATIONS SHOWN HEREON. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.

THE PROPERTY IS NOT LOCATED IN A 100 YR. FLOOD HAZARD AREA AS DESIGNATED ON F.E.M.A. F.I.R.M. PANEL # 3700965100A, DATED 10-02-2008

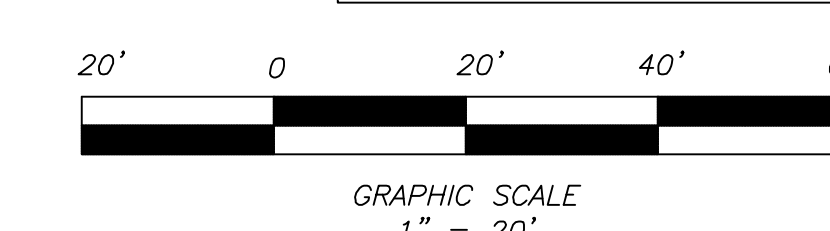
TAX PARCEL No. PORTION OF 9651-49-2507

UTILITIES:

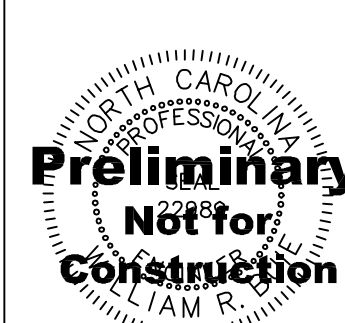
- ELECTRICAL: DUKE ENERGY JIMMY MORIS (828) 6231
NATURAL GAS: PSNC ENERGY TAMM MAYBIN (828) 670-3504
WATER SYSTEM: CITY OF HENDERSONVILLE (WATER DEPARTMENT) LEE SMITH (828) 697-3073
SANITARY SEWER: CANE CREEK WATER AND SEWER DISTRICT GREG WIGGINS (828) 694-6608
PHONE: AT&T CONNIE GUNTER (828) 698-6402
CABLE: MORRIS BROADBAND CHRIS MCCALL (828) 697-3600 ext.646



Table for WAFFLE HOUSE, INC. APPROVALS with columns for SIGNATURE and DATE.



WILLIAM G. LAPSLEY & ASSOCIATES P.A. CONSULTING ENGINEERS & LAND PLANNERS



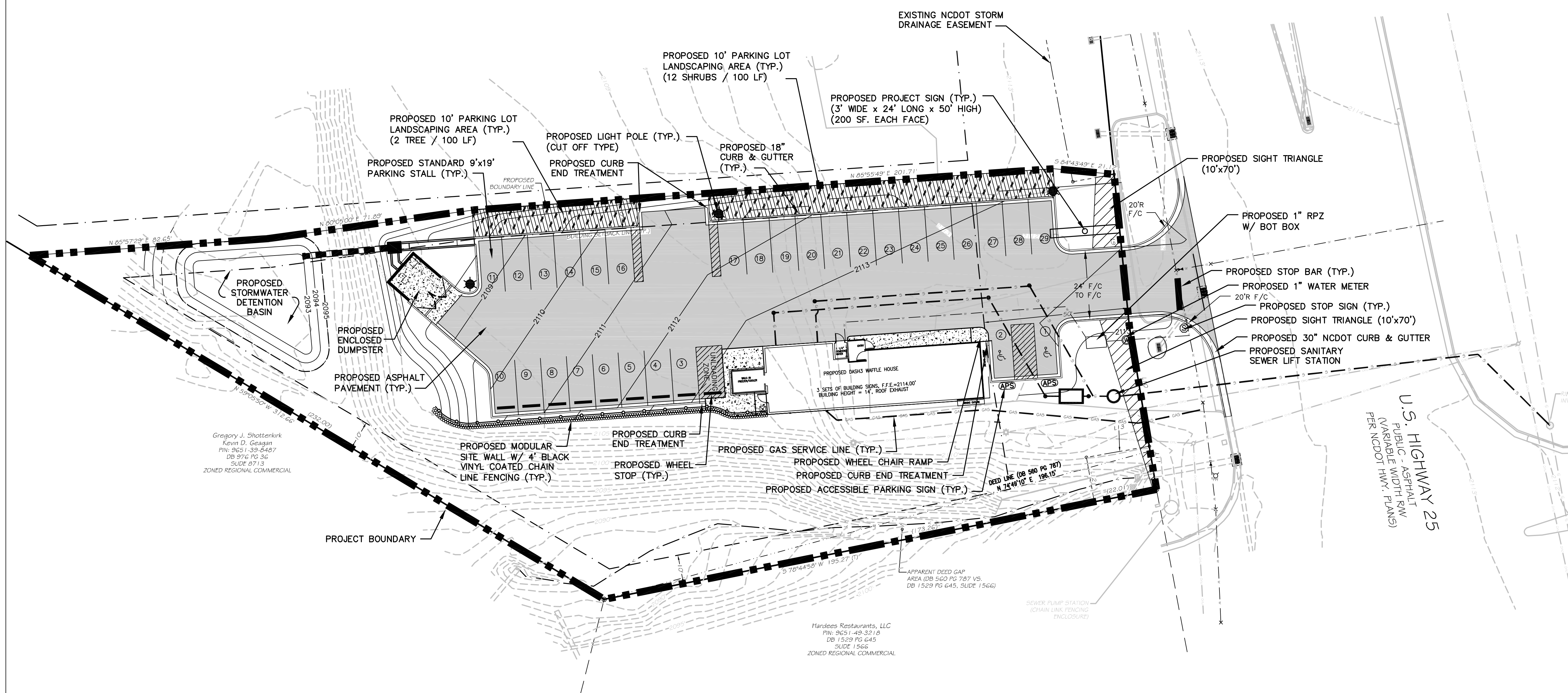
SITE PLAN for WAFFLE HOUSE UNIT #

Table with columns for REVISION DESCRIPTION and DATE.

PROJECT NAME: WAFFLE HOUSE UNIT # US HIGHWAY 25 HOOPERS CREEK TOWNSHIP HENDERSON COUNTY NORTH CAROLINA

SHEET TITLE: SITE PLAN

PROJECT No. WAFXXX SHEET No. C-2 DATE: XX/XX/XX ISSUE NO. 1 of 8



Gregory J. Shottenkorn Kevin D. Gossam PIN: 9651-39-6487 DB 976 PG 36 SLIDE 8713 ZONED REGIONAL COMMERCIAL

Handees Restaurants, LLC PIN: 9651-49-3218 DB 1529 PG 645 SLIDE 1566 ZONED REGIONAL COMMERCIAL

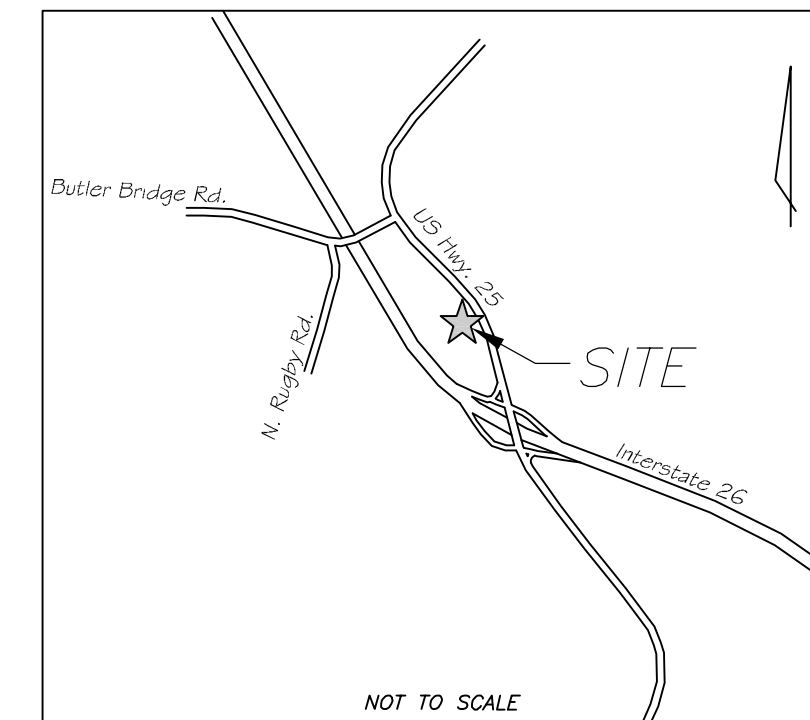
LEGEND

- EXISTING 1' CONTOUR
PROPOSED 1' CONTOUR
PROPOSED CURB & GUTTER
PROPOSED ASPHALT PAVEMENT
PROPOSED CONCRETE PAVEMENT
PROPOSED SITE RETAINING WALL
PROPOSED 4' VINYL COATED CHAIN LINK FENCE
PROPOSED ACCESSIBLE PARKING SIGN
PROPOSED STOP SIGN
PROPOSED PROJECT SIGN
PROPOSED SITE LIGHT POLE (CUT OFF TYPE)
PROPOSED SANITARY SEWER LINE
PROPOSED WATER LINE
PROPOSED GAS LINE
PROPOSED STORM DRAINAGE
PROPOSED PARKING LOT LANDSCAPING AREA

- PARKING LOT LANDSCAPING PLANTING
SHRUBS - BOXWOOD DWARF NANDINA YAUPAN HOLY
TREES - PEN OAK CRAPE MYRTLE



LOCATION MAP



NOT TO SCALE

GENERAL NOTES:

OWNER: WAFFLE HOUSE, INC. P.O. BOX 6450 NIDACROSS, GEORGIA 30091 PHONE - (770) 729-5700 CONTACT: KEN WILLIAMS

ENGINEER: WILLIAM G. LAPSLEY AND ASSOCIATES, P.A. NC LICENSE NO.: C-0586 214 N. KING STREET HENDERSONVILLE, NC 28792 PHONE - (828) 687-7177 CONTACT: WILLIAM R. BUIE, P.E.

CURRENT ZONING: REGIONAL COMMERCIAL TOTAL TRACT CONTAINS 0.844± ACRES, 36,762± S.F.

PROPOSED BUILDING AREA = 1,806 S.F. DINING AREA = 633 S.F. GROSS FLOOR AREA = 1,694 S.F. NET FLOOR AREA = 1,571 S.F. RESTAURANT AREA ONLY = 1,005 S.F.

PARKING REQUIRED: TOTAL: 4 (1 PER 500 S.F. GROSS FLOOR)

PARKING PROVIDED: REGULAR - (9' x 19') 26 SPACES HANDICAPPED - (8' x 19') 2 SPACES TOTAL - 28 SPACES

SETBACKS: FRONT - 50' (BOULEVARD CLASSIFICATION) REAR - 10' SIDE - 10'

IMPERVIOUS SURFACE = 13,957 S.F.

OPEN / UNDEVELOPED AREA = 11,606 S.F.

DISTURBED AREA = 0.63± ACRES

NO CERTIFICATION OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.

ALL CONSTRUCTION TO COMPLY WITH HENDERSON COUNTY STANDARDS.

NOTIFY HENDERSON COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION.

PROJECT CONSTRUCTION DETAILS SHALL BE UTILIZED.

SURVEY NOTES:

BOUNDARY & TOPOGRAPHIC INFORMATION OBTAIN FROM SURVEY BY MOORE AND ASSOCIATES, P.A., DATED 11-10-13, PH. (828) 628-1295

CONTOUR INTERVAL IS ONE (1) FOOT.

VERTICAL DATUM FOR TOPOGRAPHY IS NAVD BASED ON LOCAL BENCHMARK, GEI012A

THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON SURFACE FIELD EVIDENCE AND INFORMATION SUPPLIED BY UTILITY AGENCIES. THE SURVEY MAKES NO CERTIFICATION AS TO THE COMPLETENESS OF THE LOCATIONS SHOWN HEREON. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.

THE PROPERTY IS NOT LOCATED IN A 100 YR. FLOOD HAZARD AREA AS DESIGNATED ON F.E.M.A. F.I.R.M. PANEL # 3700965100A, DATED 10-02-2008

TAX PARCEL No. PORTION OF 9651-49-2507

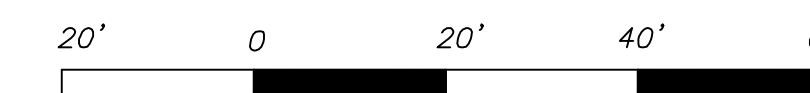
UTILITIES:

- ELECTRICAL: DUKE ENERGY JIMMY MORIS (828) 6231
NATURAL GAS: PSC ENERGY TAMI MAYBIN (828) 670-3504
WATER SYSTEM: CITY OF HENDERSONVILLE (WATER DEPARTMENT) LEE SMITH (828) 697-3073
SANITARY SEWER: CANE CREEK WATER AND SEWER DISTRICT GREG WIGGINS (828) 694-6608
PHONE: AT&T CONNIE GUNTER (828) 698-6402
CABLE: MORRIS BROADBAND CHRIS MCCALL (828) 697-3600 ext.646

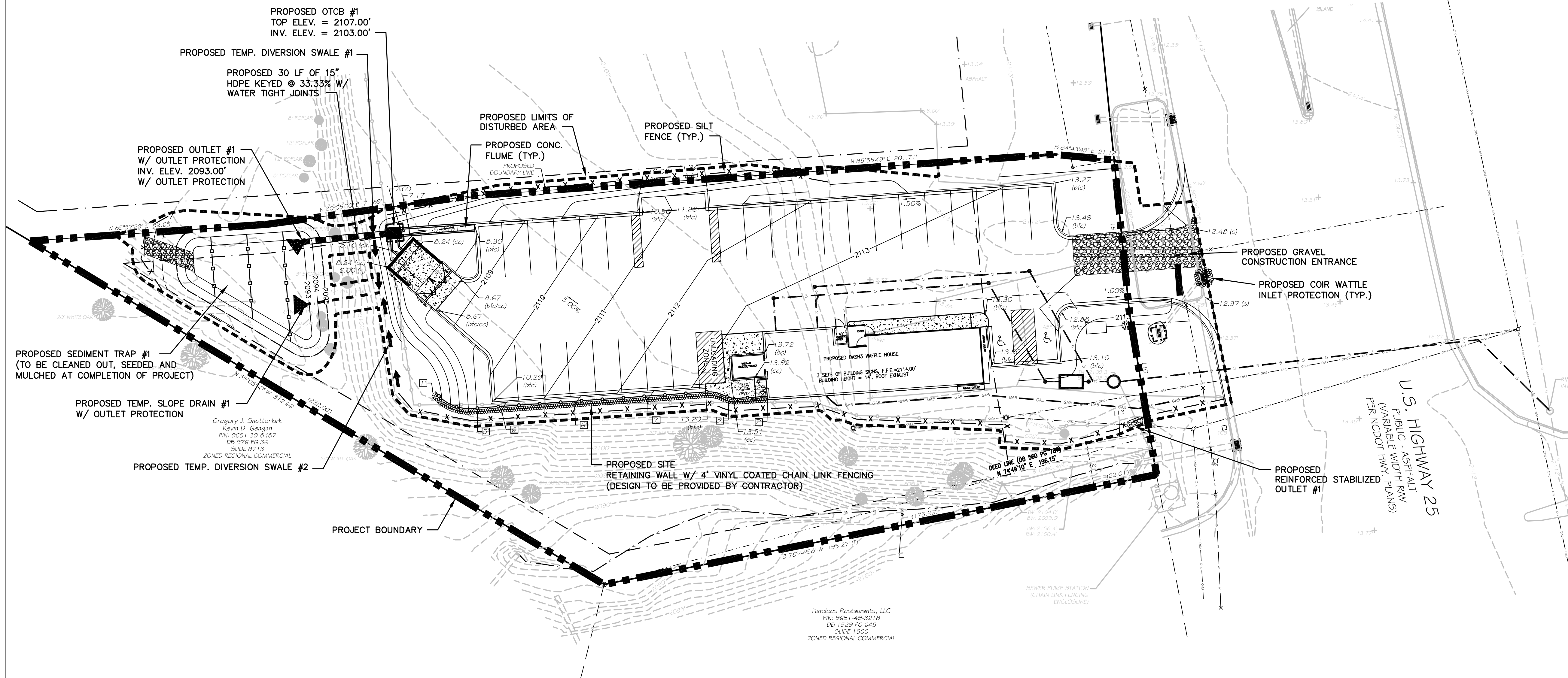


WAFFLE HOUSE, INC. APPROVALS

Table with columns for SIGNATURE and DATE for approvals.



GRAPHIC SCALE 1" = 20'



PROPOSED OTCB #1 TOP ELEV. = 2107.00' INV. ELEV. = 2103.00'

PROPOSED TEMP. DIVERSION SWALE #1 PROPOSED 30 LF OF 15" HDPE KEYED @ 33.33% W/ WATER TIGHT JOINTS

PROPOSED OUTLET #1 W/ OUTLET PROTECTION INV. ELEV. 2093.00' W/ OUTLET PROTECTION

PROPOSED SEDIMENT TRAP #1 (TO BE CLEANED OUT, SEEDED AND MULCHED AT COMPLETION OF PROJECT)

PROPOSED TEMP. SLOPE DRAIN #1 W/ OUTLET PROTECTION

PROPOSED TEMP. DIVERSION SWALE #2

PROPOSED SITE RETAINING WALL W/ 4" VINYL COATED CHAIN LINK FENCING (DESIGN TO BE PROVIDED BY CONTRACTOR)

PROPOSED GRAVEL CONSTRUCTION ENTRANCE

PROPOSED COIR WATTLE INLET PROTECTION (TYP.)

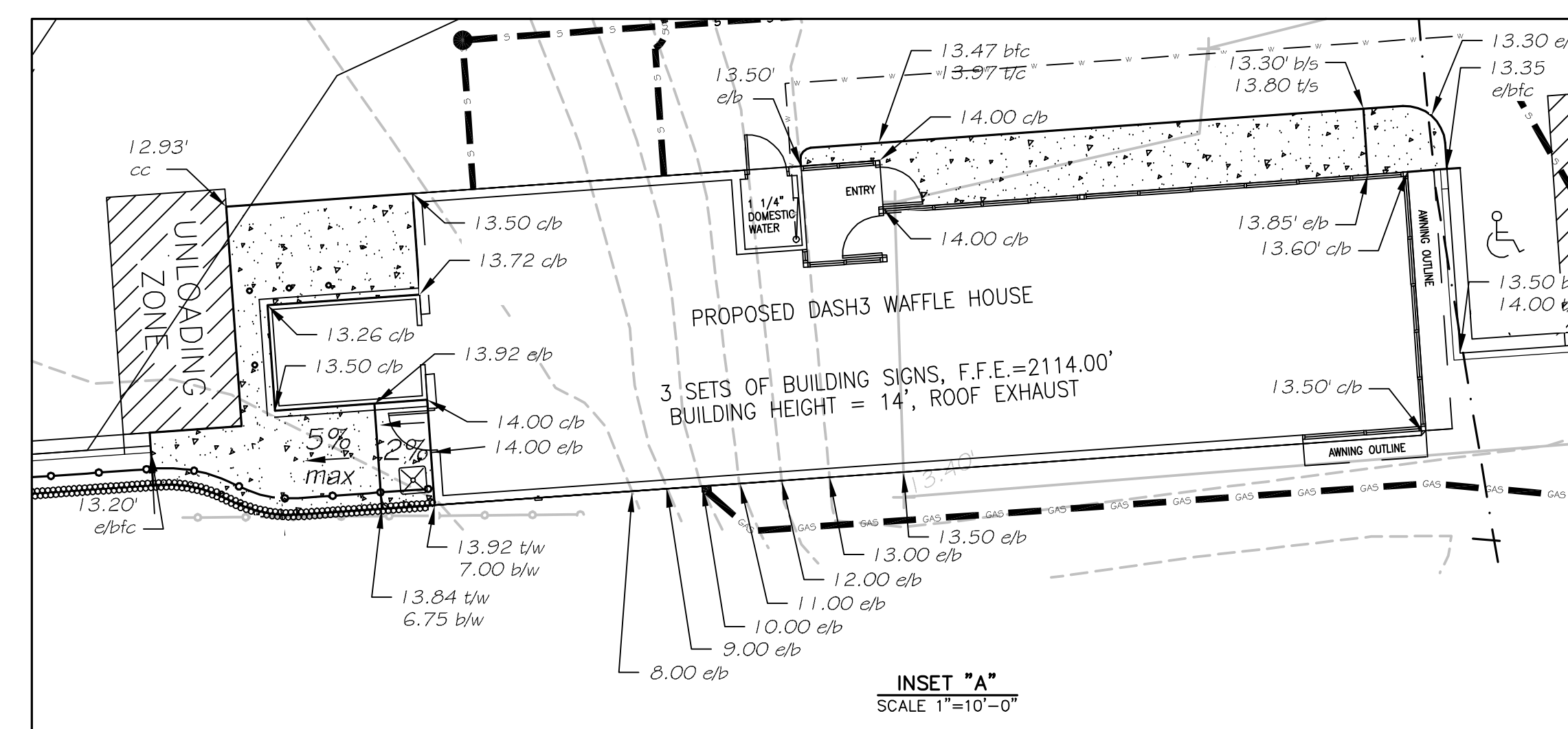
PROPOSED REINFORCED STABILIZED OUTLET #1

LEGEND

- EXISTING 1' CONTOUR
PROPOSED 1' CONTOUR
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
PROPOSED LIMIT OF DISTURBED AREA
PROPOSED SILT FENCE
PROPOSED GRAVEL CONSTRUCTION ENTRANCE
PROPOSED GRAVEL INLET PROTECTION
PROPOSED COIR WATTLE INLET PROTECTION
PROPOSED TEMP. DIVERSION SWALE
PROPOSED GRAVEL OUTLET PROTECTION
EXISTING SITE RETAINING WALL (TO REMAIN)
PROPOSED SITE RETAINING WALL
PROPOSED SITE FENCING
APPROX. SITE RETAINING WALL HEIGHT
PROPOSED REINFORCED STABILIZED OUTLET
PROPOSED TEMP. SLOPE DRAIN
PROPOSED CONC. FLUME
PROPOSED STORM DRAINAGE STRUCTURE
PROPOSED STORM DRAINAGE PIPING

ABBREVIATION LEGEND

- b/c BOTTOM FACE OF CURB
e/b/c BOTTOM FACE OF CURB AT END TREATMENT
t/c TOP OF CURB
c/f CENTERLINE OF FLUME
cc CORNER OF CONCRETE
g FINISHED GRADE
s SPOT ELEVATION
t/s TOP OF SIDEWALK
b/s BOTTOM FACE OF SIDEWALK
c/b CORNER OF BUILDING
e/b EDGE OF BUILDING
t/w TOP OF WALL
b/w BOTTOM OF WALL



INSET "A" SCALE 1"=10'-0"

WILLIAM G. LAPSLEY & ASSOCIATES P.A. CONSULTING ENGINEERS & LAND PLANNERS

Preliminary Not for Construction

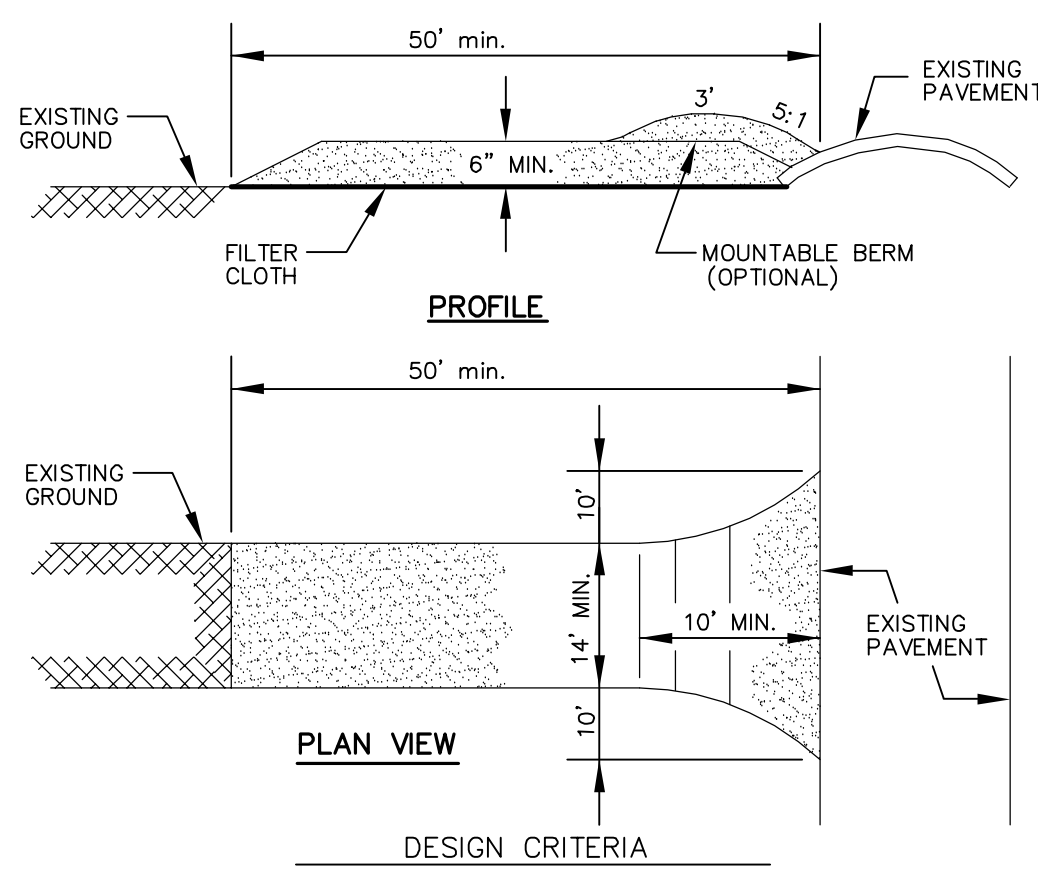
GRADING, STORM DRAINAGE & EROSION CONTROL PLAN for WAFFLE HOUSE

Table with columns for REVISION DESCRIPTION and DATE.

PROJECT NAME: WAFFLE HOUSE UNIT #

SHEET TITLE: GRADING, STORM DRAINAGE, AND EROSION CONTROL PLAN

PROJECT No. SHEET No. WAFXXX C-4 DATE: XX/XX/XX of 8 ISSUE NO. 1

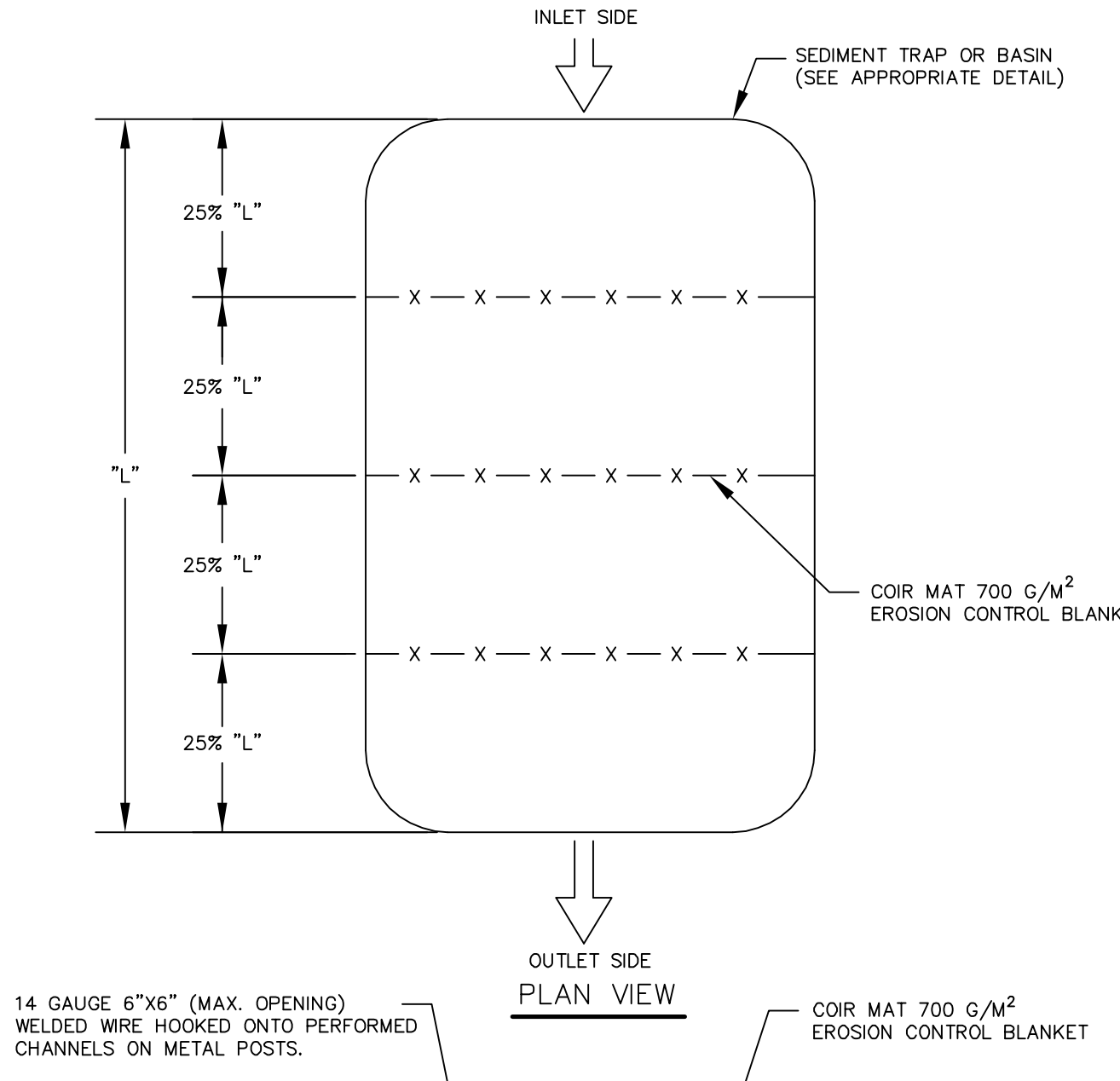


- DESIGN CRITERIA**
- STONE SIZE - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - LENGTH - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 - THICKNESS - Not less than six (6) inches of "ABC" or "Base Course".
 - WIDTH - Fourteen (14) foot minimum for one way traffic, Twenty (20) foot minimum for two way traffic, but not less than the full width of points where ingress or egress occurs.
 - ROAD GRADE - A maximum grade of 10% to 12% is recommended, although grades up to 15% are possible for short distance.
 - SIDE SLOPE OF ROAD EMBANKMENT - 2:1 or flatter.

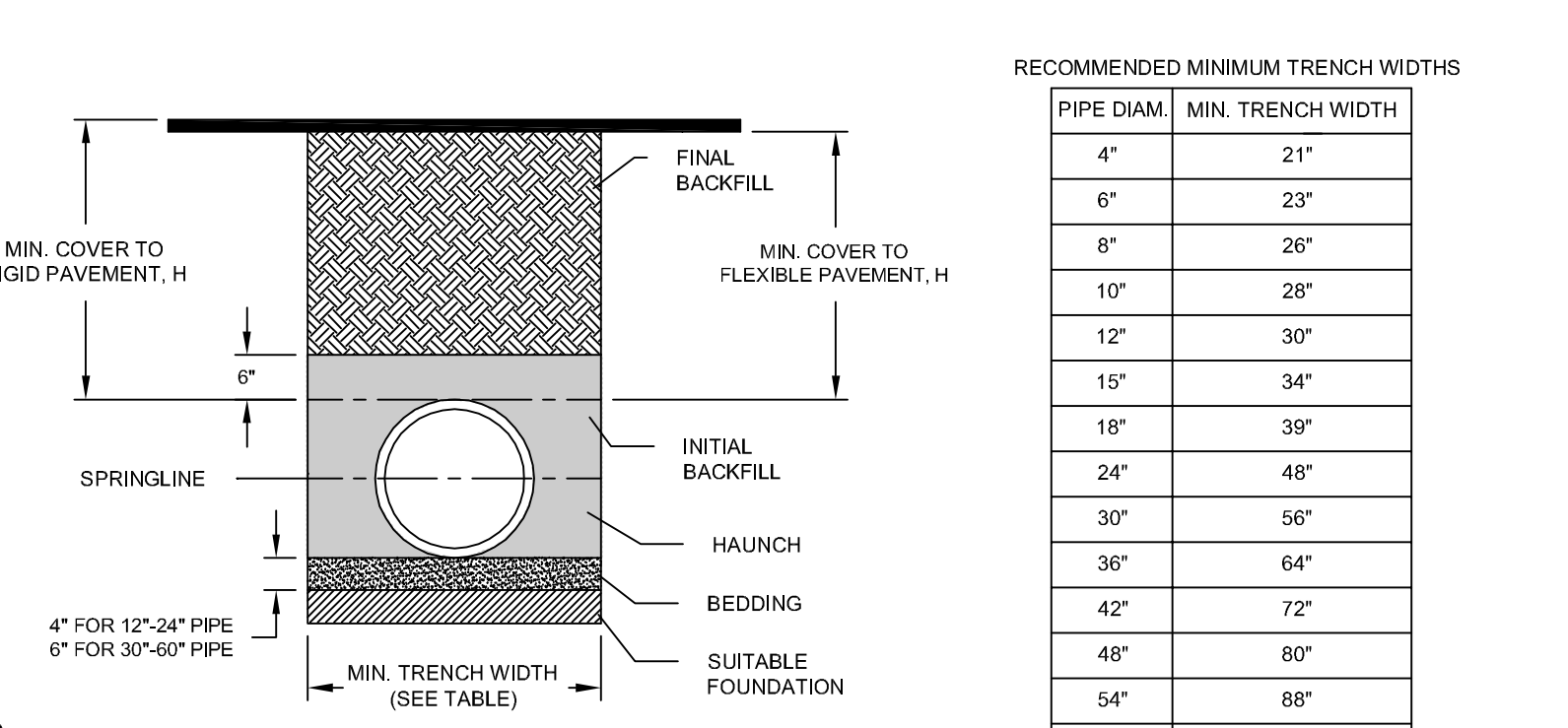
- CONSTRUCTION SPECIFICATIONS**
- Clear roadbed and parking areas of all vegetation, roots, and other objectionable material.
 - Ensure that road construction follows the natural contours of the terrain if it is possible.
 - Locate parking areas on naturally flat areas if they are available. Keep grades sufficient for drainage but generally not more than 2% to 3%.
 - Provide surface drainage, and divert excess runoff to stable areas by using water bars or turnouts.
 - Keep cuts and fills at 2:1 or flatter for safety and stability and to facilitate establishment of vegetation and maintenance.
 - Spread a 6-inch course of "ABC" crushed stone evenly over the full width of the road and smooth to avoid depressions.
 - Where seepage areas or seasonally wet areas must be crossed, install subsurface drains or geotextile fabric cloth before placing the crushed stone.
 - Vegetate all roadside ditches, cuts, fills, and other disturbed areas or otherwise appropriately stabilize as soon as grading is complete.
 - Provide appropriate sediment control measures to prevent off-site sedimentation.

STABILIZED CONSTRUCTION ENTRY/EXIT
N.T.S.

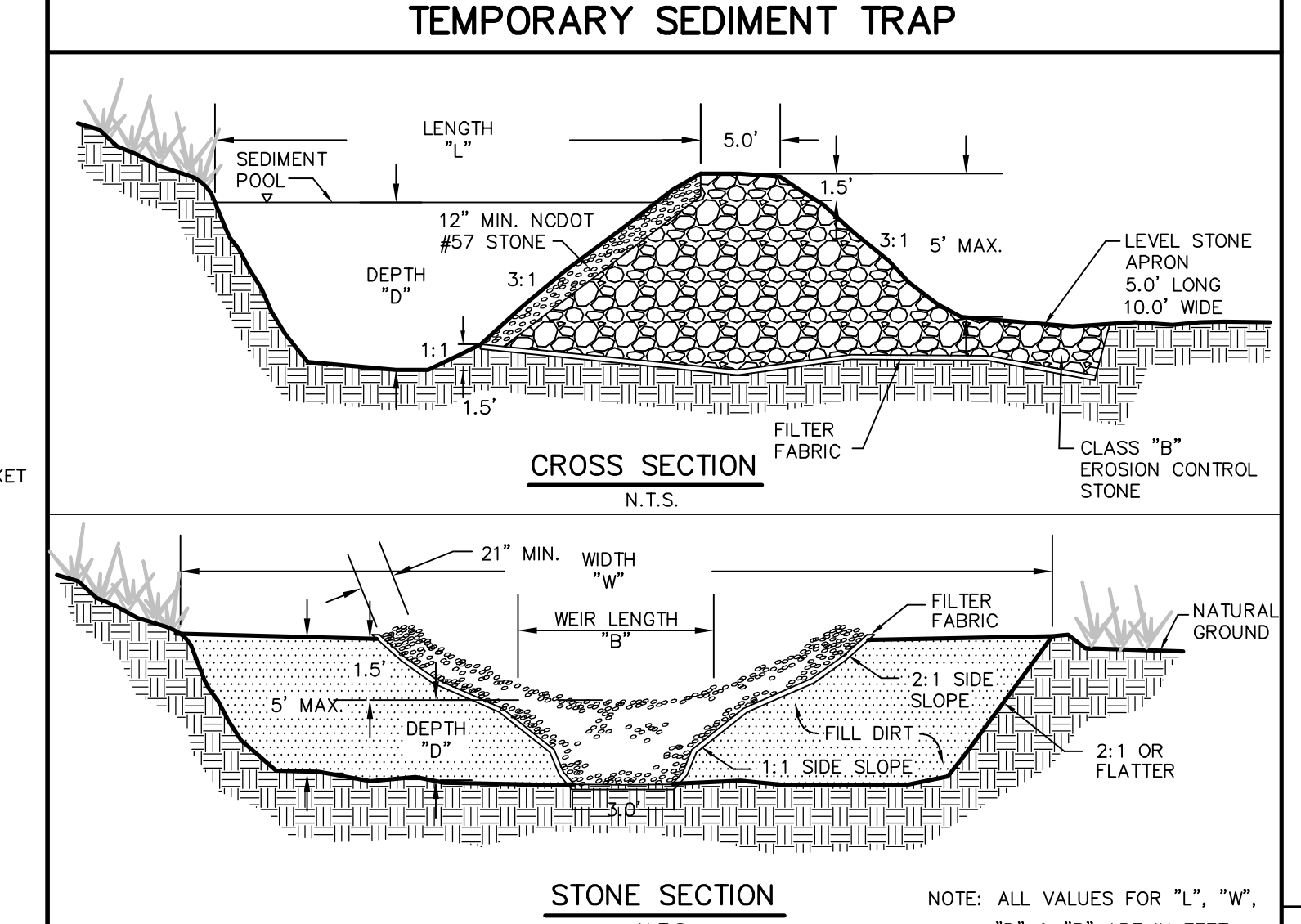
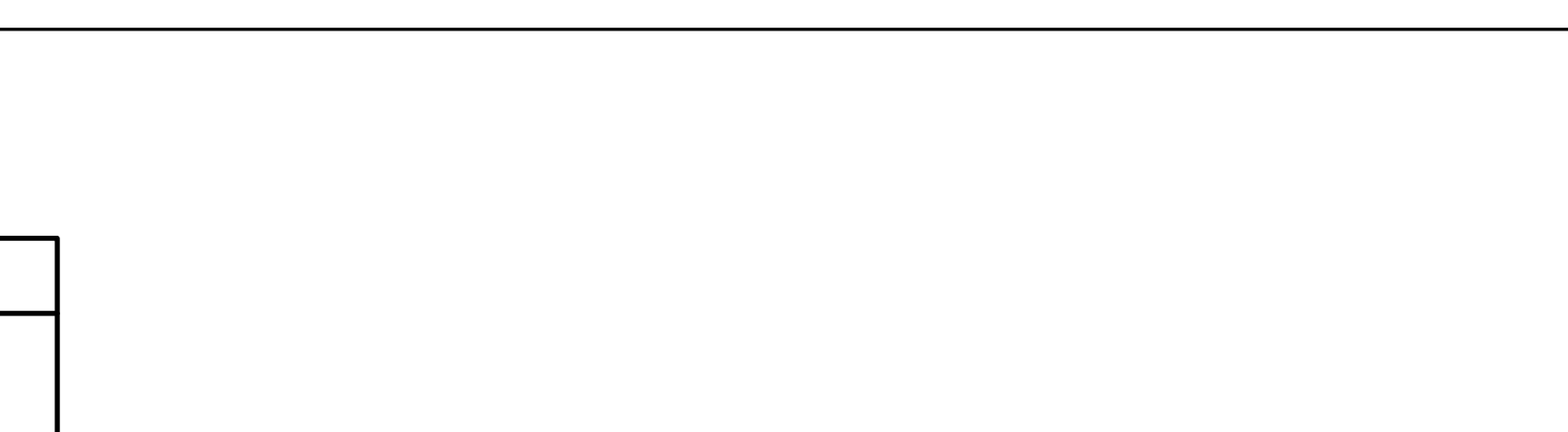
TEMPORARY SEDIMENT TRAP/BASIN BAFFLE
N.T.S.



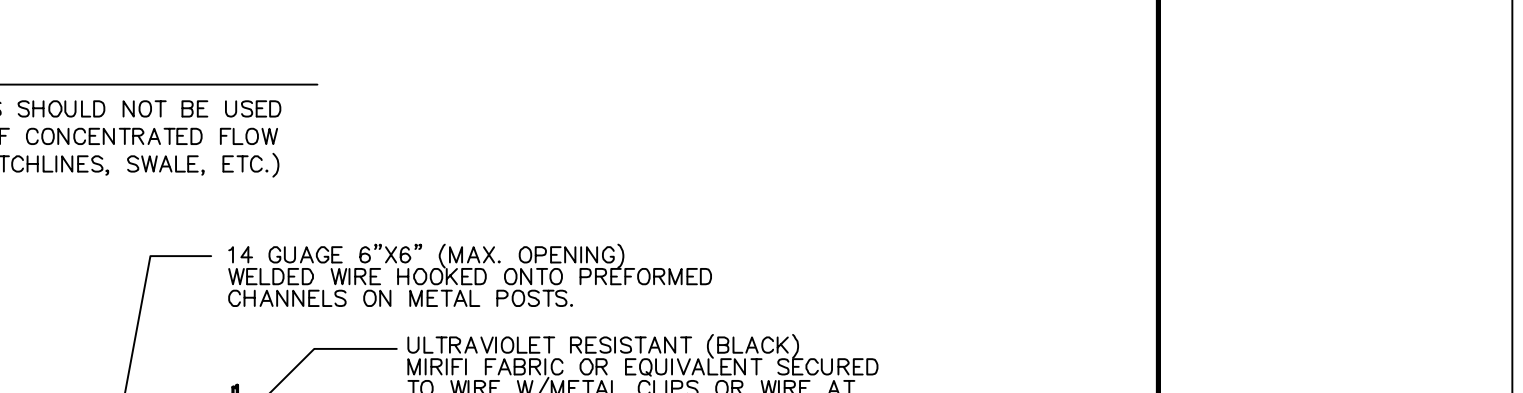
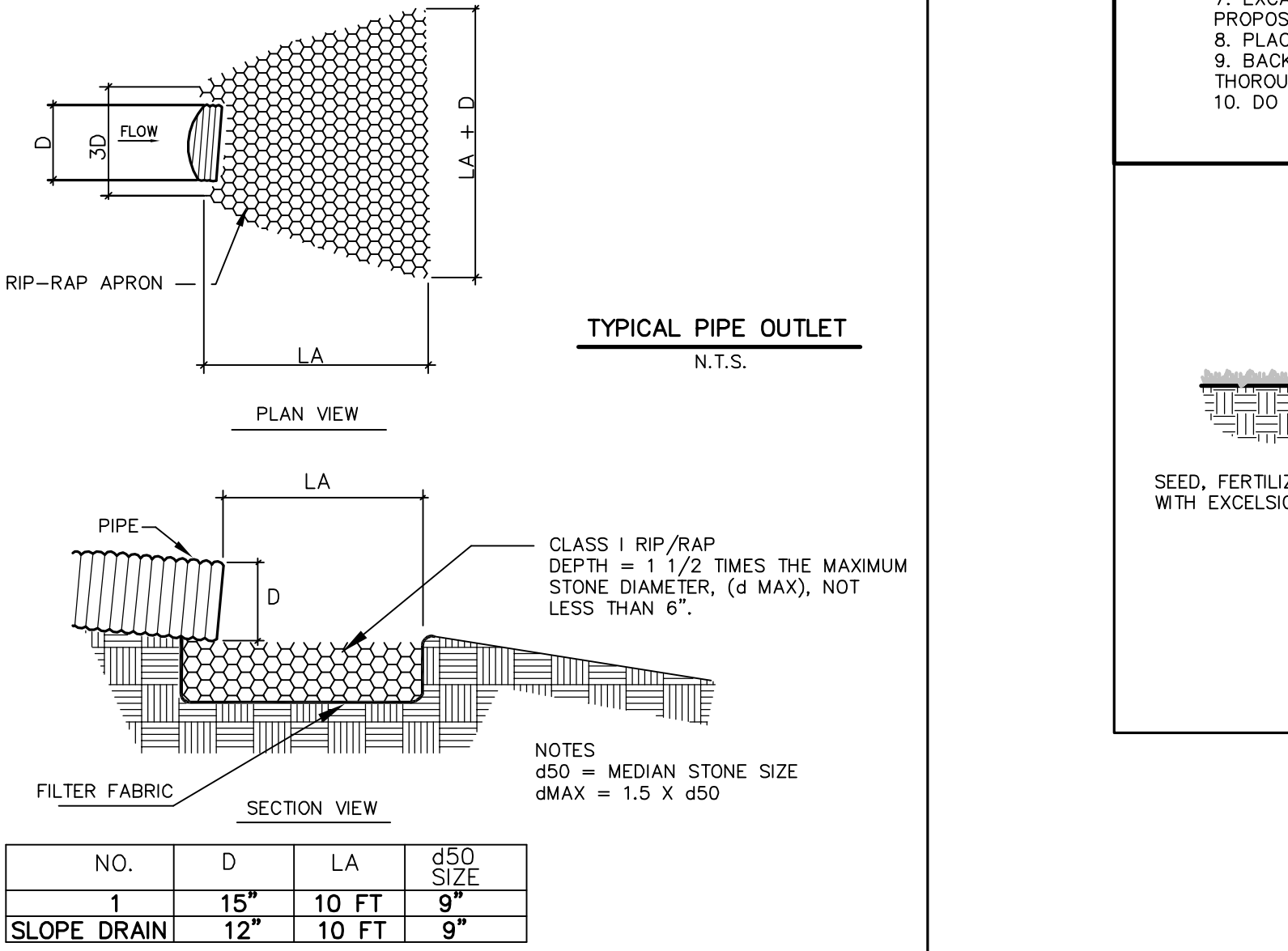
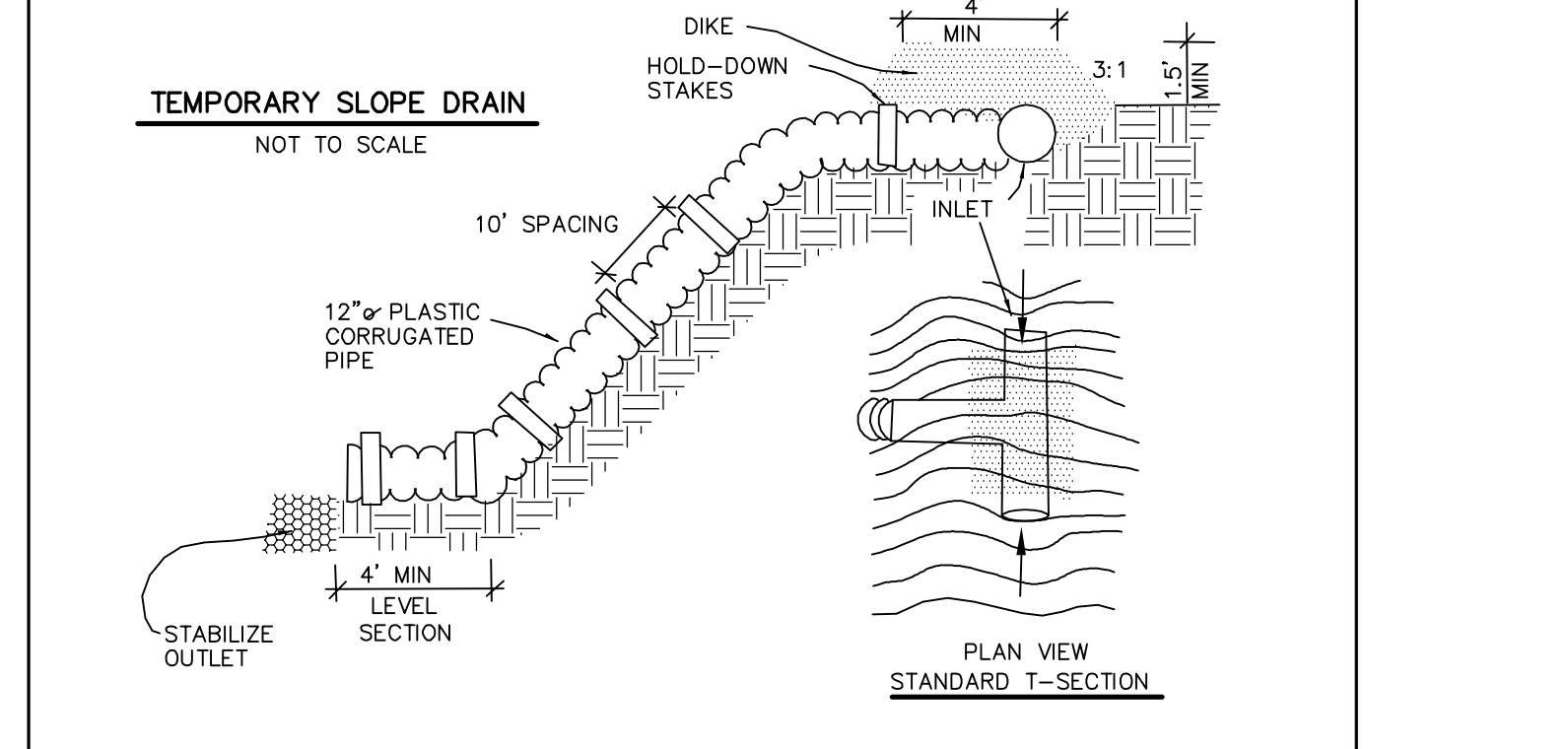
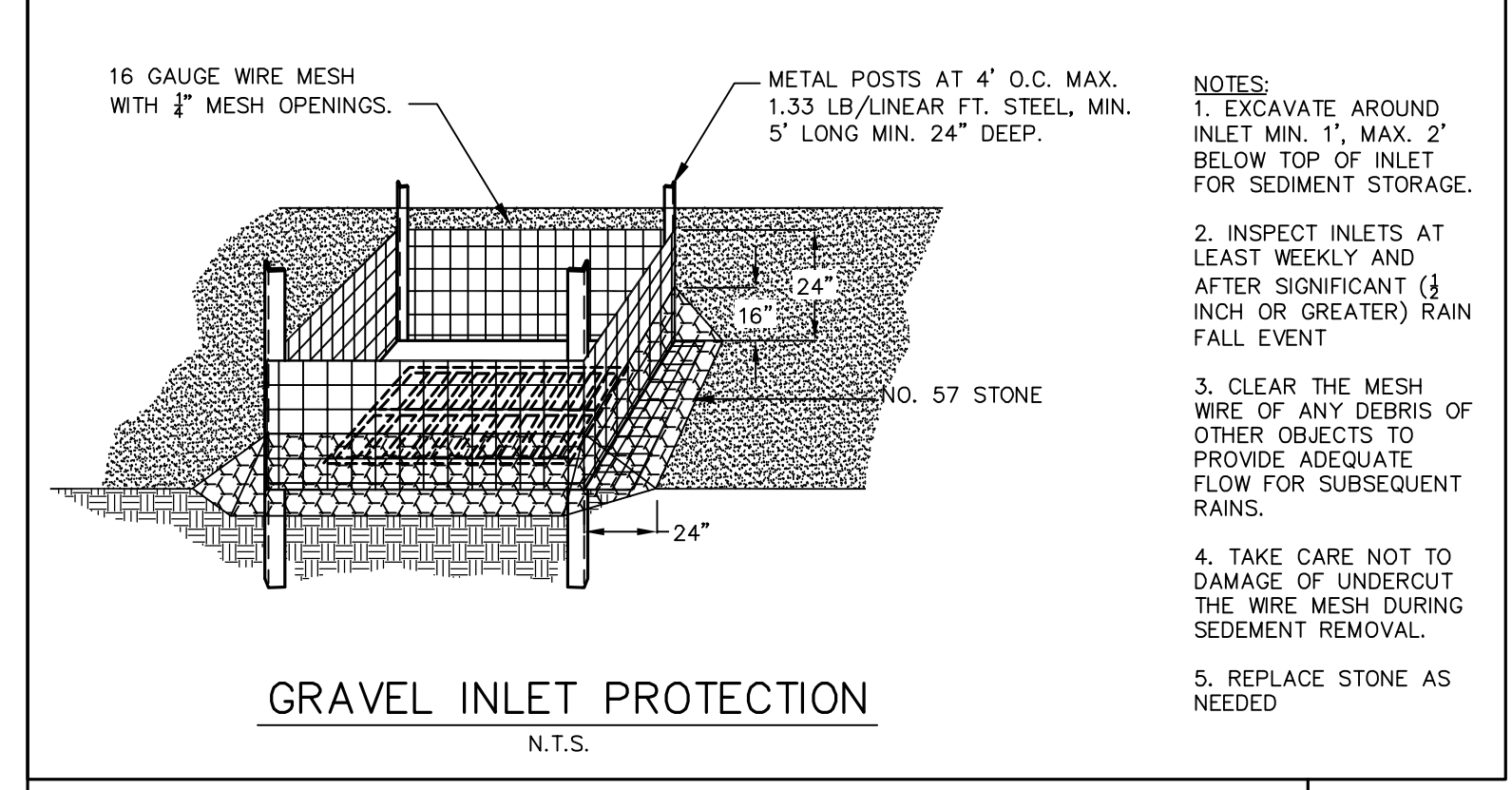
- CONSTRUCTION SPECIFICATIONS**
- GRADE THE BASIN/TRAP SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
 - INSTALL POSTS ACROSS THE WIDTH OF THE SEDIMENT TRAP.
 - STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24", SPACED A MAXIMUM OF 4 FT APART, AND INSTALLED UP THE SIDES OF THE BASIN/TRAP AS WELL.
 - INSTALL THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT. BASINS/TRAPS LESS THAN 20 FT LONG MAY USE TWO (2) BAFFLES WHICH DIVIDE THE BASIN/TRAP INTO THIRDS.
 - INSTALL SUPPORT WIRE TO PREVENT SAGGING.
 - WRAP COIR EROSION MATTING TO WIRE.
 - THE BOTTOM AND SIDES OF THE COIR MATTING SHALL BE TRENCHED IN 8" DEEP AND 4" WIDE. CARRY APPROXIMATELY 12" OF MATTING INTO TRENCH, COVER WITH SOIL AND TAMP BACKFILL.
 - DO NOT SPLICE THE MATTING, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN/TRAP.
 - THE TOP OF THE FABRIC SHOULD BE 6 INCHES HIGHER THAN THE INVERT OF THE SPILLWAY.
 - TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS.
 - INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS.



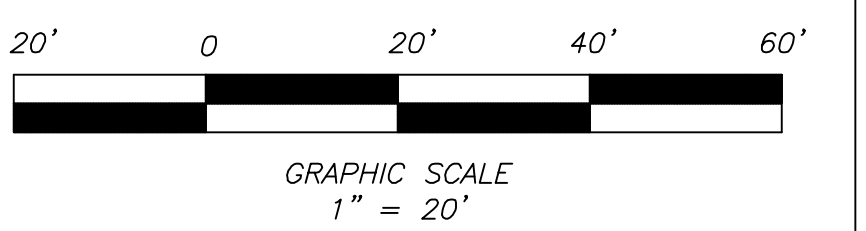
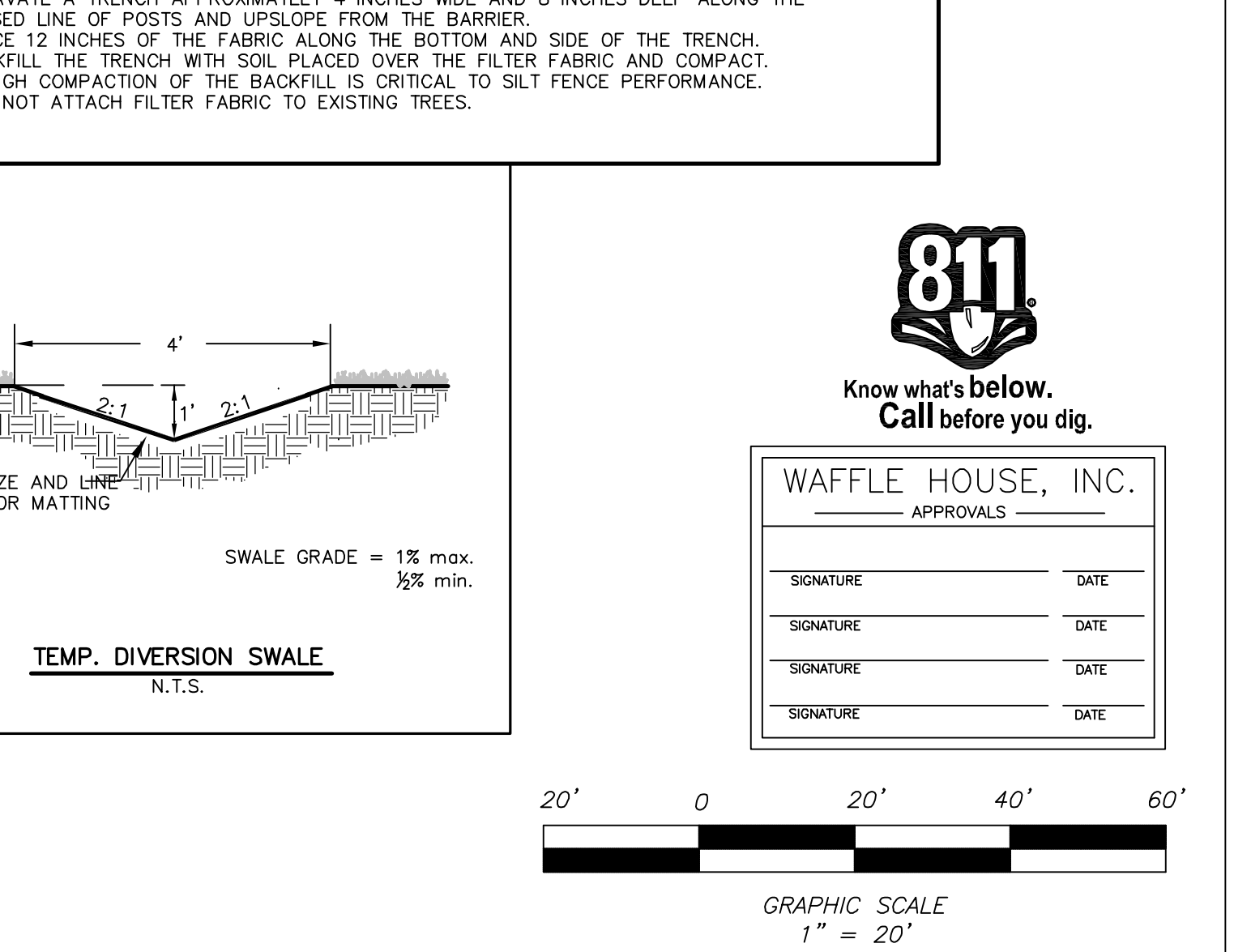
- RECOMMENDED MINIMUM TRENCH WIDTHS**
- | PIPE DIAM. | MIN. TRENCH WIDTH |
|------------|-------------------|
| 4" | 21" |
| 6" | 23" |
| 8" | 26" |
| 10" | 28" |
| 12" | 30" |
| 15" | 34" |
| 18" | 39" |
| 24" | 48" |
| 30" | 56" |
| 36" | 64" |
| 42" | 72" |
| 48" | 80" |
| 54" | 88" |
| 60" | 96" |
- MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS**
- | PIPE DIAM. | SURFACE LIVE LOADING CONDITION | |
|------------|--------------------------------|-------------------------------------|
| | H-25 | HEAVY CONSTRUCTION (75T AXLE LOAD)* |
| 12" - 48" | 12" | 48" |
| 54" - 60" | 24" | 60" |
- *VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER
- MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS**
- | PIPE DIAM. | COOPER E-80** |
|------------|---------------|
| UP TO 24" | 24" |
| 30"-36" | 36" |
| 42"-60" | 48" |
- ** COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.
*** E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.
- TYPICAL HDPE STORM DRAINAGE TRENCH DETAIL**
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- CLEAR GRUB & STRIP THE AREA UNDER THE EMBANKMENT OF ALL VEGETATION AND ROOT MAT.
 - CLEAR POND AREA. BASIN SHOULD BE EXCAVATED TO 1.5 FEET BELOW GRADE.
 - USE FILL MATERIAL FREE OF ROOTS, WOODY VEGETATION AND ORGANIC MATTER. PLACE FILL IN LIFTS NOT TO EXCEED 9" AND MACHINE COMPACT.
 - CONSTRUCT DAM AND STONE SPILLWAY TO DIMENSIONS, SLOPES AND ELEVATIONS SHOWN.
 - ENSURE THAT THE SPILLWAY CREST IS LEVEL AT LEAST 1.5' BELOW THE TOP OF THE DAM AT ALL POINTS.
 - STONE USED FOR SPILLWAY SECTION- CLASS "B" EROSION CONTROL STONE.
 - STONE USED ON INSIDE SPILLWAY FACE TO CONTROL DRAINAGE - D.O.T. #57 WASHED STONE.
 - EXTEND STONE OUTLET SECTION ON ZERO GRADE WITH TOP ELEVATION OF STONE LEVEL WITH BOTTOM OF DRAIN.
 - ENSURE THAT THE TOP OF THE DAM AT ALL POINTS IS 0.5' ABOVE NATURAL SURROUNDING GROUND.
 - STABILIZE THE EMBANKMENT AND ALL DISTURBED AREA ABOVE THE SEDIMENT POOL AS SHOWN IN THE PLANS
 - INSTALL BAFFLES
 - REMOVE SEDIMENT FROM THE TRAP AND RESTORE THE CAPACITY TO ORIGINAL TRAP DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH.
 - AFTER THE CONSTRUCTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND STABILIZE IT.
- | TRAP # | "L" | "W" | "D" | "B" |
|--------|-----|-----|-----|-----|
| 1 | 50± | 25± | 2' | 7' |



- CONSTRUCTION SPECIFICATIONS**
- CONSTRUCT THE SEDIMENT BARRIER OF STANDARD OR EXTRA STRENGTH SYNTHETIC FILTER FABRIC.
 - ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE.
 - CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
 - SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUNDS TENSILE STRENGTH.
 - WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.
 - EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.
 - EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - PLACE 12 INCHES OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
 - BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT. THOROUGH COMPACTION OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
 - DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.



WILLIAM G. LAPSLEY & ASSOCIATES P.A.
CONSULTING ENGINEERS & LAND PLANNERS
1000 W. HARRIS BLVD., SUITE 200
HENDERSONVILLE, NORTH CAROLINA 28752
(704) 835-1777
www.wglp.com

PRELIMINARY
NOT FOR CONSTRUCTION

GRADING, STORM DRAINAGE & EROSION CONTROL DETAILS
for
WAFFLE HOUSE
UNIT # _____
US HIGHWAY 25 @ INTERSTATE 26, HENDERSON COUNTY, NORTH CAROLINA

REVISION	DESCRIPTION	DATE

PROJECT NAME:
WAFFLE HOUSE
UNIT # _____
US HIGHWAY 25
HOOPERS CREEK TOWNSHIP
HENDERSON COUNTY
NORTH CAROLINA
SHEET TITLE:
GRADING, STORM DRAINAGE, AND EROSION CONTROL DETAILS
PROJECT No. WAFXXX SHEET No. C-5
DATE: XX/XX/XX of 8
ISSUE No. 1

811
Know what's below.
Call before you dig.

WAFFLE HOUSE, INC.
APPROVALS

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

