

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING DATE: September 18, 2012

SUBJECT: Major Site Plan Review

PRESENTER: Toby Linville

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Major site plan review for a Solar Energy Generation Facility.

Suggested Motion: I move that the TRC recommend approval of the major site plan for Innovative Solar 4, LLC on Chimney Rock Rd.



Henderson County, North Carolina Code Enforcement Services

1. Board Request

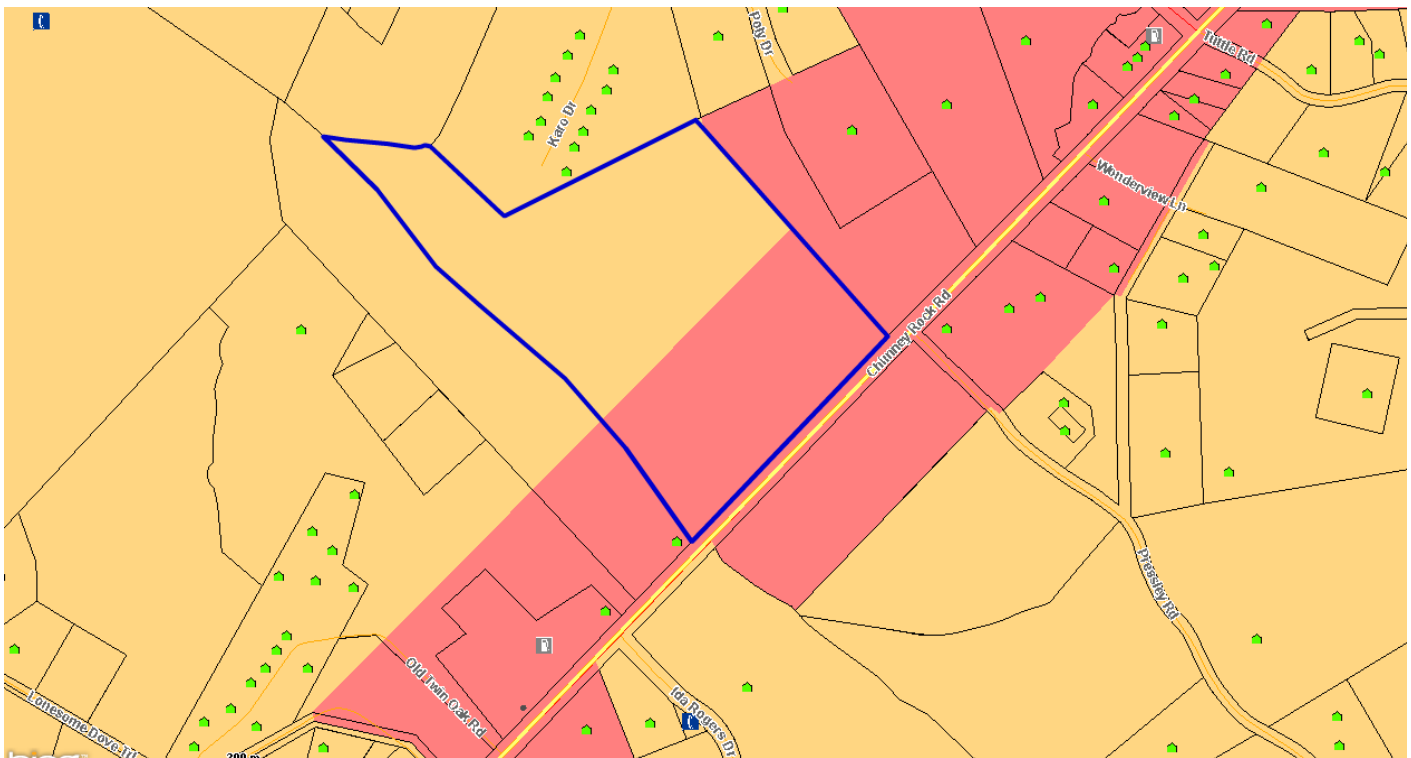
- 1.1. **Applicant:** Innovative Solar 4, LLC
- 1.2. **Request:** Major Site Plan review for a Solar Energy Generation Facility
- 1.3. **PIN:** 9691-92-3239
- 1.4. **Size:** 8.30 acres +/-
- 1.5. **Location:** The subject area is located on Chimney Rock Road in Edneyville
- 1.6. **Supplemental Requirements:**

SR 9.9. Solar Energy Generation Facility

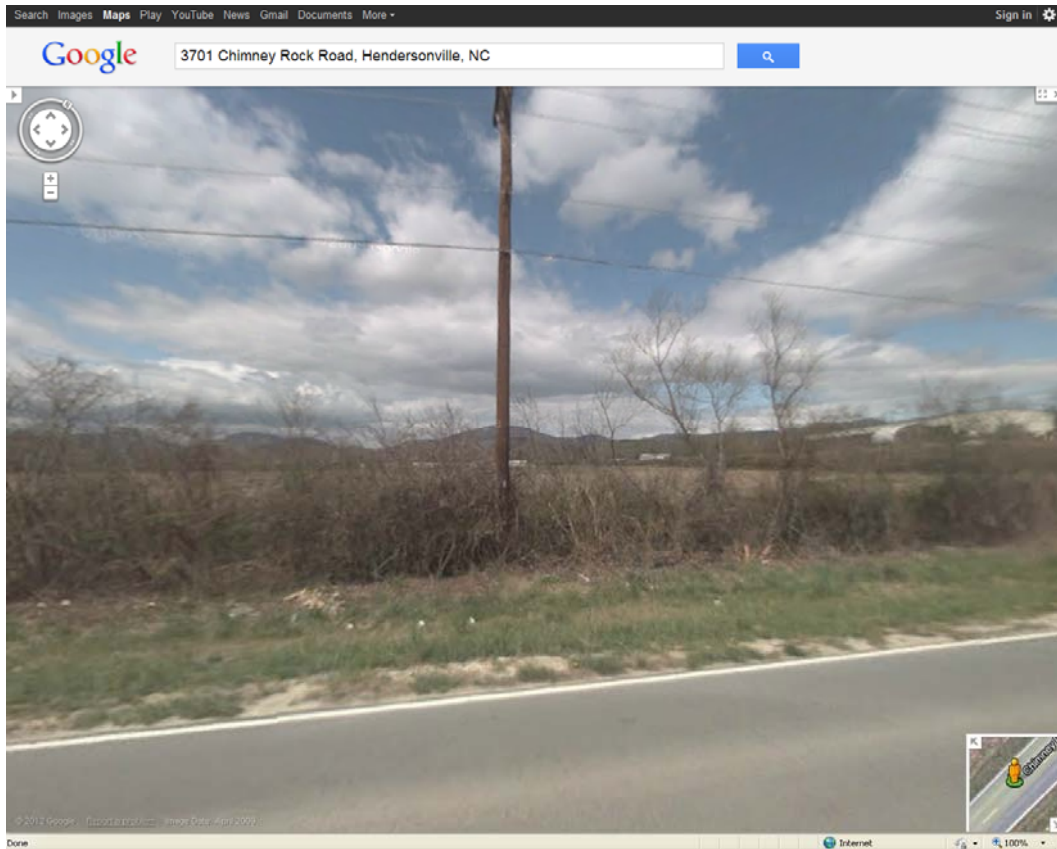
- (1) Site Plan. Major *Site Plan* required in accordance with §200A-299 (Major Site Plan Review). The site plan shall include ground level profile drawings of the typical structures proposed and the designed wind and ground snow loads.
- (2) Dust Reduction. Unpaved *roads, travel ways* and/or parking areas shall be treated to prevent dust from adverse affects to adjacent properties.
- (3) Perimeter Setback. All structures and components shall be a minimum of twenty (20) feet from property lines. Necessary ingress and egress for vehicles and utility & transmission lines may be located within the perimeter setback. Fences may be placed within the perimeter setback.
- (4) Height. Systems, equipment and structures shall not exceed twenty-five (25) feet in height when ground mounted. Roof mounted systems shall not exceed the maximum height for the applicable zoning district.
- (5) Screening. Screen Class One (1), Two (2), Three (3), or Four (4) shall be provided along sides of the facility which are adjacent to a residential use (as identified in Section 1 of 200A-62, Table of Permitted and Special Uses) on a separate parcel, consistent with 200A-182 (Screen Classification). Where screening is required, screening shall be placed on the exterior side of fencing. Buffer Requirements, as specified by Article V Subpart A, shall not apply to Solar Energy Generation Facilities unless the Solar Energy Generation Facility is not permitted in the zoning district adjacent to the site.
- (6) Scenic Byways. Solar energy Generation Facilities shall not be permitted on sites visible from Scenic Byways as designated by the North Carolina Department of Transportation or Henderson County.
- (7) Security. Solar Energy Generation Facilities shall be completely enclosed within:
 - a. a woven wire fence; or
 - b. a masonry wall; or
 - c. a wooden fence that contains spacing no greater than six (6) inches.Such fences shall be at least six (6) feet in height.

2. Current Conditions

- 2.1. **Current Use:** The property is currently in agricultural use.
- 2.2. **Adjacent Area Uses:** The surrounding properties primarily consist of residential and rural uses with some small local businesses and warehousing activities along Hwy 64.
- 2.3. **Zoning:** The surrounding property to the north is zoned (R2R) Residential 2 Rural, to the east and west along Hwy 64 properties are zoned (LC) Local Commercial as well as split zoned LC and R2R.
- 2.4. **Map B: Current Zoning**



Current Conditions –Looking North into property

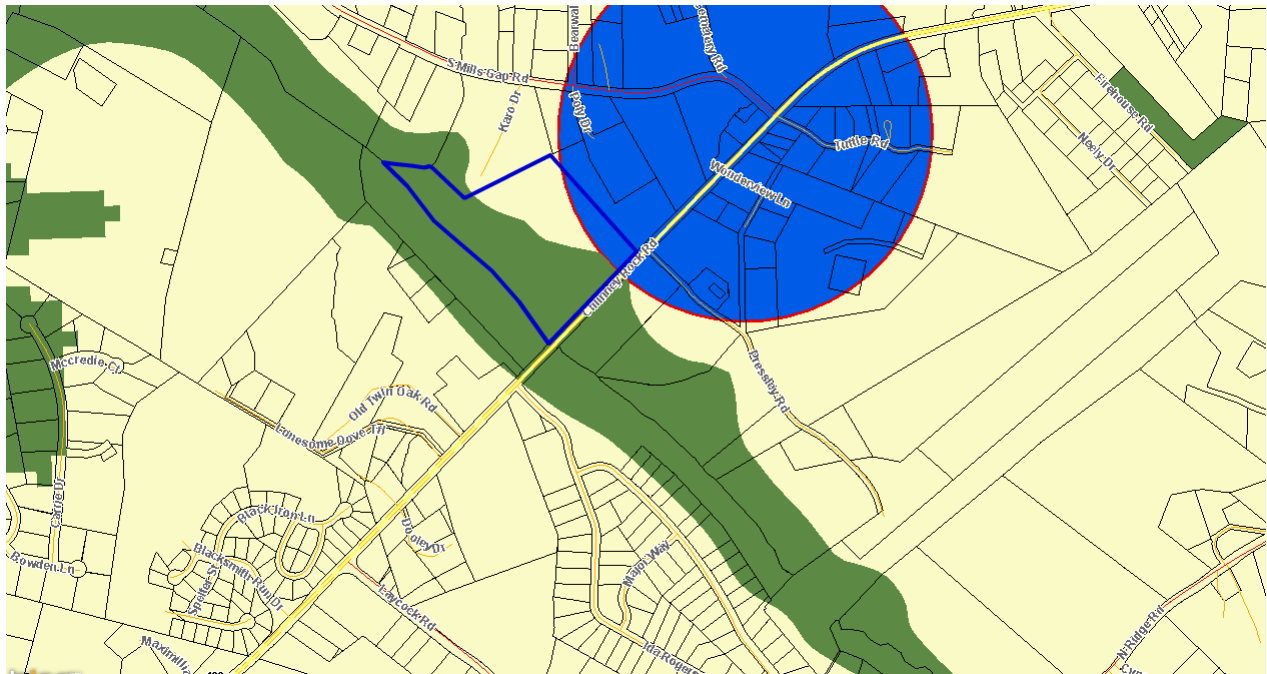


Looking east into subject property



5. **Floodplain /Watershed Protection** -The property is located in the Zone AE Special Flood Hazard Area but the solar panels will not be located in the SFHA.
6. **Water and Sewer**
 - 6.1. **Public Water:** City water is not available nor is it required for this use.
 - 6.2. **Public Sewer:** Public sewer is not available nor is it required for this use.

Map C: CCP Future land Use Map



7. **Staff Comments**

The 2020 CCP: The CCP Future Land Use Map places the Subject Area split between the “RTA” and in the “Community Service Centers” classification. The text and map of the 2020 CCP suggest that the portion of the Subject Area that is the “RTA” is currently rural in character, with existing pockets of limited higher density residential and commercial development. The CCP indicates that the property may be suitable for commercial development provided the development is in keeping with the surrounding community. The remaining portion of the property is located in a Community Service Center which is located in unified development concentrations at intersections of selected thoroughfares and in central locations that are convenient to nearby residential development so as to minimize problems associated with “strip “commercial development. *Community Service Centers* should be priority targets of investments for

sewer and water, public transportation, greenways, other general road improvements, and other appropriate infrastructural improvements.

8. Staff Recommendations

- 8.1. Staff's position at this time, under the guidelines of current plans, policies and studies, is it approved the major site plan because it is consistent with the current surrounding land uses and future land use recommendations.

