



Henderson County, North Carolina Code Enforcement Services

MEMORANDUM

DATE: November 23, 2010
TO: Technical Review Committee
TRC MEETING DATE: December 7, 2010
REGARDING: Major Site Plan Review
NAME OF APPLICANT: Blacksmith Run
DEPARTMENT: Code Enforcement Services
STAFF CONTACT: Toby Linville
ATTACHMENTS: Site Plans

Please find attached plans for the following development proposal to be reviewed by the Henderson County Technical Review Committee on December 7, 2010.

Major Site Plan Review

Brooks Engineering submitted the major site plan for this project for the owner, Blacksmith Run. They wish to utilize the property for Common Area Recreation and Service Facilities which requires major site plan review per S.R. 4.6.

SR 4.6. Common Area Recreation and Service Facilities

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-299 (Major Site Plan Review).
- (2) Structure. Where the *common area recreation facility* is a swimming pool, spa or hot tub, it shall be protected by a fence or equal enclosure, a minimum of four (4) feet in height, and shall have controlled access.
- (3) Operations. Common area service facilities shall be for the purpose of serving residents and visitors within the complex, development, *manufactured home park* or *subdivision*, and shall not be considered a commercial operation for *use* by those outside of the complex, development, *manufactured home park* or *subdivision*.

The project site is located on 4.9 acres of land (PIN 9691707867) located at 201 Black Iron Ln. in the Blacksmith Run subdivision. The project is located in a Residential 2 Rural zoning district. The project meets the requirements of the Land Development Code and all the applicable major site plan requirements are met.

If you would like to submit your changes early please use the comment sheet provided and sending it back via email to tlinville@hendersoncountync.org.

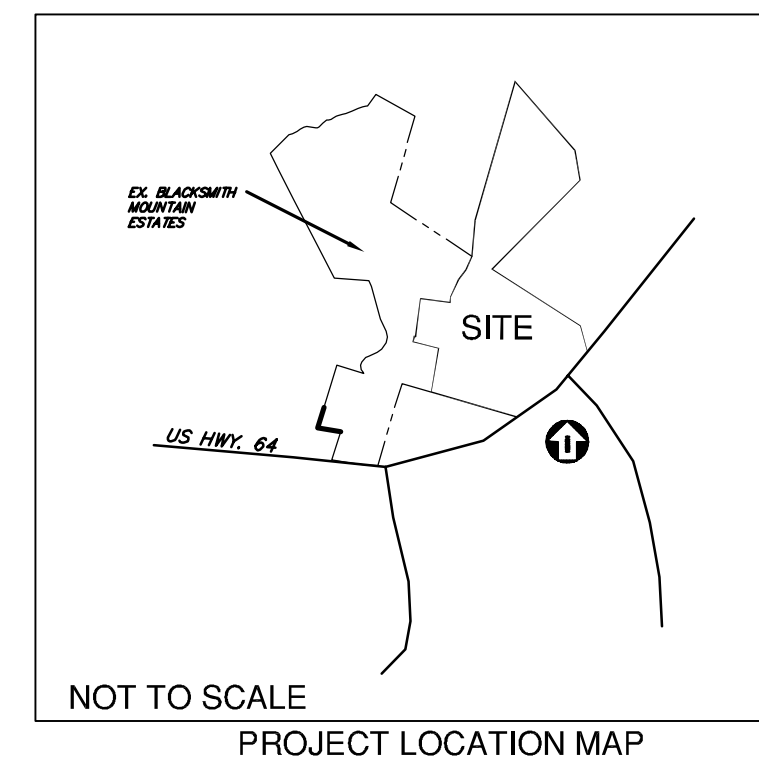
Toby Linville
Director, Code Enforcement Services
100 N King St.
Hendersonville, North Carolina 28792
tlinville@hendersoncountync.org
www.hendersoncountync.org
828-694-6627



History:	No History Found
Permit:	No Permit Found
Date:	No Date Found
NEW Zoning Districts:	Residential 2 - Rural Residential 2 - Rural
Acreage:	4.9000
Municipality Boundaries:	No City Found
	No Ordinance Found
Water Supply Watersheds:	No Watershed Found
	No Watershed Found
	No Watershed Found
OLD 1982 Flood Zones 03-01-1982:	No Flood Zone Found
	No Flood Zone Found
NEW 2008 Flood Zones 10-02-2008:	Zone X, Not Shaded (Areas outside of the floodplain)
NEW 2008 Floodway 10-02-2008:	
NEW 2008 Flood Panel 10-02-2008:	9691
Protected Ridges:	No
City of Hendersonville Annexation Resolution:	No
Fire Tax Districts:	03 Edneyville Fire

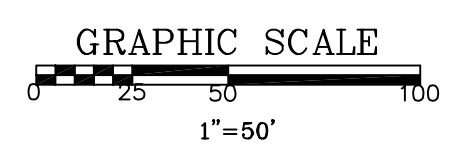
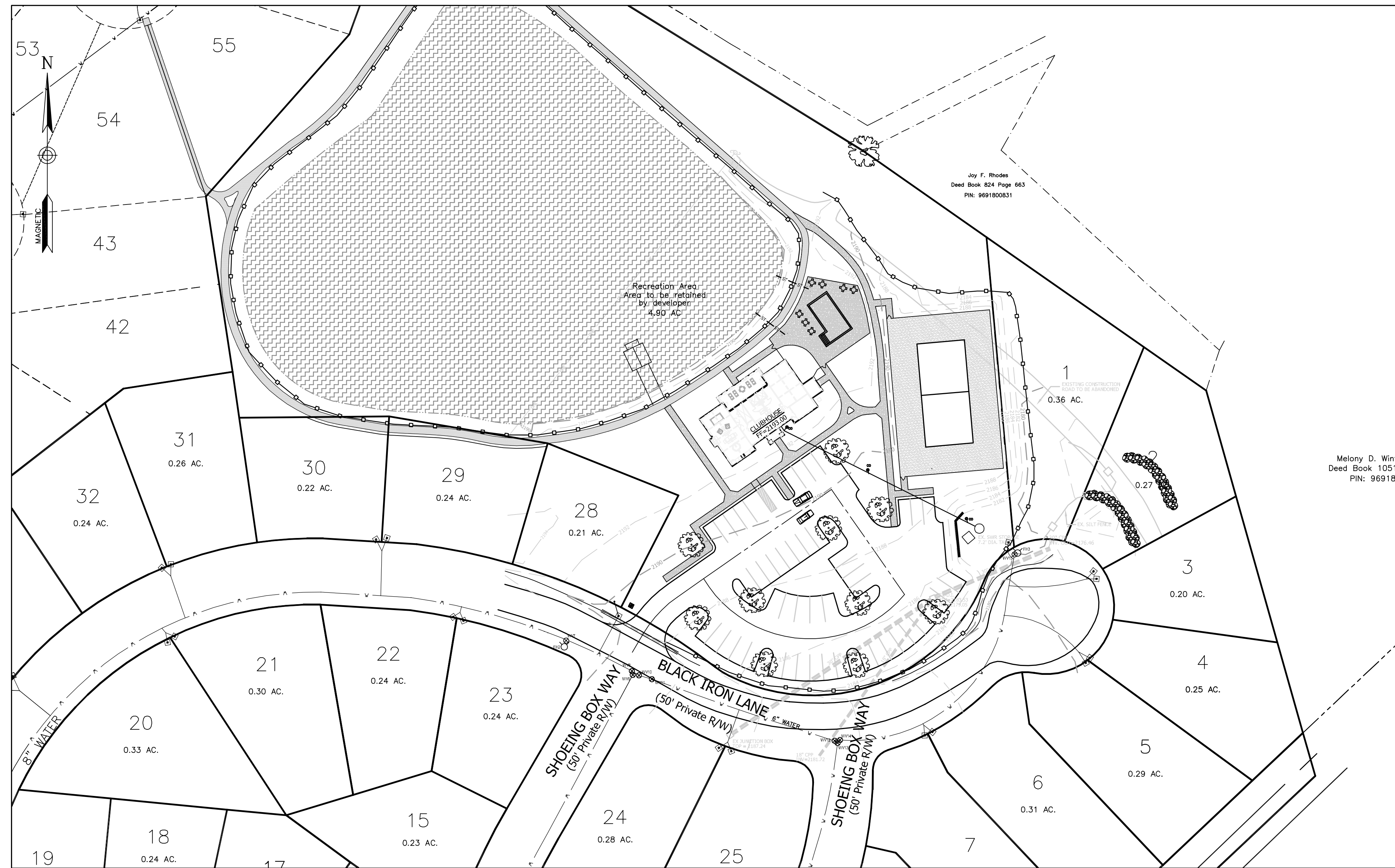
BLACKSMITH RUN SUBDIVISION CLUBHOUSE SITE DEVELOPMENT

EDNEYVILLE, NORTH CAROLINA



GENERAL NOTES

- A. TOPOGRAPHIC AND BOUNDARY SURVEY DATA PROVIDED BY:
Freeland-Clinkscales Associates
201 East 2nd Avenue
Hendersonville, NC 28792
(828) 697-6539
- B. OWNER: Blacksmith Mountain LLC
2730 S.W. 3RD AVENUE, SUITE 800
MIAMI, FL 33129
(305) 856-8500
- DEVELOPER: Vista Developers, LLC
525 N. Main St.
Hendersonville, NC 28792
(828)-698-2400
- ENGINEER/LAND PLANNER: Brooks Engineering Associates, PA
17 Arlington Street
Asheville, NC 28801
Ph. (828) 232-4700
Fx. (828) 232-1331
- C. PAVING SPECIFICATIONS:
NORMAL DUTY: 2" 50% OVER, 2" 80% OVER, 6" C&G OVER, 24"-95% COMPACTED SUBGRADE
HEAVY DUTY: 2" 50% OVER, 2" 80% OVER, 8" C&G OVER, 24"-95% COMPACTED SUBGRADE
- D. ALL CONCRETE SHALL BE FULL 4" THICK 4000 PSI CONCRETE WITH WWF STEEL REINFORCEMENT.
- E. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED, MIN. CURB RADIUS IS 3' UNLESS OTHERWISE NOTED.
- F. SEE ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION AND SIZE OF WATER SERVICE, SEWER SERVICE AND ROOF DOWNSPOUTS/DRAIN LOCATIONS.
- G. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, FEATURES.
- H. DRIVEWAYS TO BE CONSTRUCTED AS SHOWN ON THE PLANS AND AS DIRECTED BY OWNER.
- I. HANDICAP REGULATIONS: STAIRS AND HANDRAILS, ETC.
a. A HANDICAP PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE.
b. HANDRAILS ARE TO BE PROVIDED ON HANDICAP RAMPS WITH A DROP OF TWO INCHES OR MORE.
- J. CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF WORK.
- K. ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION, IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK.
- L. THE CONTRACTOR SHALL RESET ALL MANHOLE COVERS, CATCH BASIN GRATES AND ANY OTHER UTILITY ACCESS COVERS TO FINISH PAVEMENT SURFACE OR SIDEWALK GRADE.
- M. THE CONTRACTOR SHALL SUPPLY AND ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL AND VERTICAL CONTROL POINTS, THE CONTRACTOR SHALL MAINTAIN THIS CONTROL AND PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, AND LINES NECESSARY FOR CONSTRUCTION.
- N. PROTECT UNDERGROUND UTILITIES AND THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
- O. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
- P. BURNING ON, OR NEAR THE JOB SITE WILL NOT BE PERMITTED.
- Q. ALL FILL SHALL BE COMPACTED TO 95% PER ASTM D 698.
- R. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION RELATED MATERIAL OR DEBRIS TO THE OWNER SATISFACTION.
- S. TREE SAVE NOTES:
a. TEMPORARY TREE SAVE FENCING INSTALLED UNDER THE ROUGH GRADING CONTRACT SHALL BE MAINTAINED UNTIL THE OWNER ALLOWS ITS REMOVAL. REMOVAL OF THIS FENCING SHALL BE INCLUDED HEREIN.
b. THE SITE WORK CONTRACTOR(S) SHALL BE FAMILIAR WITH AND OBSERVE THE APPLICABLE REQUIREMENTS. ANY QUESTION SHOULD BE DIRECTED TO THE PROJECT CIVIL ENGINEERING REPRESENTATIVE.
- T. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- U. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH NCDOT/CITY INSPECTOR.
- V. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- W. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM SLOPE OF 0.5% ON PAVED SURFACES.
- X. ALL STRUCTURES SHALL BE HENDERSON COUNTY STANDARD UNLESS NOTED OTHERWISE.
- Y. ALL SIGNAGE SHALL COMPLY TO THE HENDERSON COUNTY ZONING ORDINANCE.
- Z. ALL EXISTING DRIVEWAYS AND CURB CUTS THAT ARE NOT USED SHALL BE REMOVED AND REPLACED WITH CONCRETE CURB, GUTTER, AND SIDEWALK.



SHEET NO.	TITLE
CS	COVER SHEET
C-1	SITE LAYOUT & UTILITY PLAN
C-2	GRADING, DRAINAGE, & EROSION CONTROL PLAN
DT-1	EROSION CONTROL & SITE DETAILS
DT-2	SANITARY SEWER DETAILS
DT-3	WATER DETAILS

PROJECT SUMMARY	
TOTAL PROJECT AREA:	4.9 ACRES
PIN #:	9691-70-7867
EXISTING ZONING:	RESIDENTIAL 2 - RURAL
PROPOSED USE:	CLUBHOUSE
MAX. HEIGHT:	40'
STANDARD LOT SIZE:	1.00 ACRES
MIN. LOT SIZE:	0.50 ACRES
TOTAL BUILT UPON AREA	0.98 ACRES (20.0%)
EXISTING BUILT UPON AREA	0.52 ACRES (10.6%)
PROPOSED BUILT UPON AREA	0.46 ACRES (9.4%)
DISTURBED AREA	0.95 ACRES
TOWNSHIP:	BLUE RIDGE
FIRE DISTRICT:	EDNEYVILLE
DISTANCE TO NEAREST HYDRANT:	46'
DISTANCE TO PUBLIC WATER:	46'
WATER SOURCE:	CITY OF HENDERSONVILLE
SEWER SOURCE:	PRIVATE COMMUNITY
TRASH:	INDIVIDUAL
ROAD TYPE:	PRIVATE
LENGTH OF ROADS:	11,826 LF (TOTAL)
WATERSHED:	FRENCH BROAD

PROGRESS DRAWINGS - NOT FOR CONSTRUCTION
FOR REVIEW PURPOSES ONLY

Project No: 175206	CS	1 of 6	Drawing Title: COVER SHEET	 Planning • Engineering • Surveying • Environmental Services •	17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksandmedlock.com	REVIEWED: S.M.L. DRAWN: B.G.R. CHECKED: M.E.D.	AS NOTED 11-24-10	PRELIMINARY - DO NOT USE FOR CONSTRUCTION	REVISIONS/SUBMISSIONS SUBMITTED TO HENDERSON CO.	Date 11/24/10
									NORTH CAROLINA PROFESSIONAL SEAL 035866 BROOKS AND MEDLOCK ENGINEERS NORTH CAROLINA CIVIL ENGINEER # 11331	

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO THE COMMENCEMENT OF WORK.
- DIMENSIONS TO OR COORDINATES OF MANHOLES, VALVES, PIPELINES, ETC., ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL OBTAIN AND PAY FOR, PRIOR TO THE BEGINNING OF ANY WORK, ALL PERMITS AND LICENSES NECESSARY TO ACCOMPLISH THE WORK. PERMITS CAN INCLUDE, BUT ARE NOT LIMITED TO NCDOT ENCROACHMENT PERMIT, GRADING PERMIT, AND UTILITY COMPANY'S PERMIT FOR THE WORK TO BE PERFORMED ON THEIR RESPECTIVE FACILITIES.
- ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE JOB SITE AND LOCATION OF ALL EXISTING FACILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR WILL BE UNILATERAL RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES AND UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS; AND IF DAMAGED, SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS BEFORE SUBMITTING HIS BID.
- THE CONTRACTOR SHALL RE-SET ALL MANHOLE COVERS, CATCH BASIN GRATES, AND ANY OTHER UTILITY ACCESS COVERS TO FINISH PAVEMENT SURFACE OR SIDEWALK GRADE.
- PROTECT UNDERGROUND UTILITIES AND THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS. PROVIDE SHORING AND OTHER METHODS OF PROTECTIONS AS NEEDED TO ENSURE THE CONDITION AND OPERATION OF THOSE UTILITIES TO REMAIN. FIBER OPTIC LINES ARE BURIED IN CONDUIT AND TELEPHONE LINES ARE DIRECT BURY.
- ELECTRIC IS ALSO BURIED IN CONDUIT. CONTRACTOR SHALL CONFIRM AS ENCOUNTERED AND COORDINATE WITH AGENCIES/UTILITY SUPPLIERS AS REQUIRED.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADEQUATE SUPERVISION TO PREVENT DAMAGE AND MOVEMENT FROM EQUIPMENT WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE AND BE PROTECTED UNTIL THE OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED LAND SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION RELATED MATERIAL OR DEBRIS TO THE OWNERS SATISFACTION.
- THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD. IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION. SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION, RESPONSIBILITY FOR SCHEDULING THE WORK FOR INSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR ALL CODE REQUIREMENTS, RULES AND REGULATION OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE PROJECT OR ANY PART OF THE WORK, IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.
- ALL EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, TO THE SATISFACTION OF THE OWNER.
- ALL CONSTRUCTION TO MEET CITY OF ASHEVILLE STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY STREET CUT, SIDEWALK CUT, AND/OR STREET/LANE CLOSURE PERMITS FROM THE CITY OF HENDERSONVILLE ENGINEERING DIVISION PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, AS REQUIRED.

WATER LINE NOTES:

INSTALLATIONS SHALL BE IN ACCORDANCE WITH HENDERSONVILLE CURRENT DESIGN GUIDELINES UNDER THE INSPECTION OF HENDERSONVILLE AND BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.

LOCATIONS OF INTERIOR WATER LINE APPURTENANCES TO BE DETERMINED BY PROJECT MECHANICAL ENGINEER.

A PRECONSTRUCTION MEETING IS REQUIRED WITH THE HENDERSONVILLE ENGINEERING OFFICE PRIOR TO ANY CONSTRUCTION.

THE TOWN SHALL BE NOTIFIED AT LEAST 36 HOURS PRIOR TO TAPPING MUNICIPAL FORCE MAIN.

A MINIMUM COVER DEPTH OF 3' SHALL BE MAINTAINED OVER ALL WATER LINES

ALL WATER MAINS 3" AND GREATER IN DIAMETER SHALL BE CLASS 350 DIP AND ALL SERVICE LINES LESS THAN 3" SHALL BE TYPE K COPPER TUBING.

ALL BRASS FITTINGS MUST BE CERTIFIED LEAD FREE.

MIN. CLEARANCES:

SANITARY SEWER - HORIZONTAL - 10"
VERTICAL - 18"

OTHER UTILITIES - 3'

WATER SERVICES FOR INDIVIDUAL LOTS SHALL REQUIRE INDIVIDUAL PERMIT APPLICATIONS FOR WATER SERVICE ALLOCATION AS DICTATED BY THE HENDERSONVILLE'S WATER DEPARTMENT.

CONTRACTOR WILL BE REQUIRED TO OBTAIN A STREET CUT PERMIT FROM HENDERSONVILLE AFTER RECEIVING AN AUTHORIZATION TO CONSTRUCT.

THE CITY OF HENDERSONVILLE'S OWNERSHIP OF THE WATER SYSTEM ENDS AT THE METERS

SEE EXISTING/DEMO PLAN FOR ALL EXISTING WATER LINES TO BE ABANDONED.

GENERAL NOTES

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Freeland-Clinkscapes Associates
201 East 2nd Avenue
Hendersonville, NC 28792
(828) 697-6539

B. OWNER:
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2730 S.W. 3RD AVENUE, SUITE 800
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17 Arlington Street
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Ph. (828) 232-4700
Fx. (828) 232-1331

C. PAVING SPECIFICATIONS:

HEAVY DUTY	HEAVY DUTY ASPHALT PAVING
NORMAL DUTY	
2" SB OVER	
2" HB OVER	
2" CB OVER	
24" 95% COMPACTED SUBGRADE	

D. ALL CONCRETE SHALL BE FULL 4" THICK 4000 PSI CONCRETE WITH WWF STEEL REINFORCEMENT.

E. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED, MIN. CURB RADIUS IS 3' UNLESS OTHERWISE NOTED.

F. SEE ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION AND SIZE OF WATER SERVICE, SEWER SERVICE AND ROOF DOWNSPOUTS/DRAIN LOCATIONS.

G. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, FEATURES, STAIRS AND HANDRAILS, ETC.

H. DRIVEWAYS TO BE CONSTRUCTED AS SHOWN ON THE PLANS AND AS DIRECTED BY OWNER.

I. HANDICAP REGULATIONS:

a. A HANDICAP PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE.

b. HANDRAILS ARE TO BE PROVIDED ON HANDICAP RAMPS WITH A DROP OF TWO INCHES OR MORE.

J. CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF WORK.

K. ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK.

L. THE CONTRACTOR SHALL RESET ALL MANHOLE COVERS, CATCH BASIN GRATES AND ANY OTHER UTILITY ACCESS COVERS TO FINISH PAVEMENT SURFACE OR SIDEWALK GRADE.

M. THE CONTRACTOR SHALL SUPPLY AND ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL AND VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL AND PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, AND LINES NECESSARY FOR CONSTRUCTION.

N. PROTECT UNDERGROUND UTILITIES AND THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS.

O. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.

P. BURNING ON, OR NEAR THE JOB SITE WILL NOT BE PERMITTED.

Q. ALL FILL SHALL BE COMPACTED TO 95% PER ASTM D 698.

R. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION RELATED MATERIAL OR DEBRIS TO THE OWNER SATISFACTION.

S. TREE SAVE NOTES:

a. TEMPORARY TREE SAVE FENCING INSTALLED UNDER THE ROUGH GRADING CONTRACT SHALL BE MAINTAINED UNTIL THE OWNER ALLOWS ITS REMOVAL. REMOVAL OF THIS FENCING SHALL BE INCLUDED HEREIN.

b. THE SITE WORK CONTRACTOR(S) SHALL BE FAMILIAR WITH AND OBSERVE THE APPLICABLE REQUIREMENTS. ANY QUESTION SHOULD BE DIRECTED TO THE PROJECT CIVIL ENGINEERING REPRESENTATIVE.

T. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.

U. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH NCDOT/CITY INSPECTOR.

V. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

W. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM SLOPE OF 0.5% ON PAVED SURFACES.

X. ALL STRUCTURES SHALL BE HENDERSON COUNTY STANDARD UNLESS NOTED OTHERWISE.

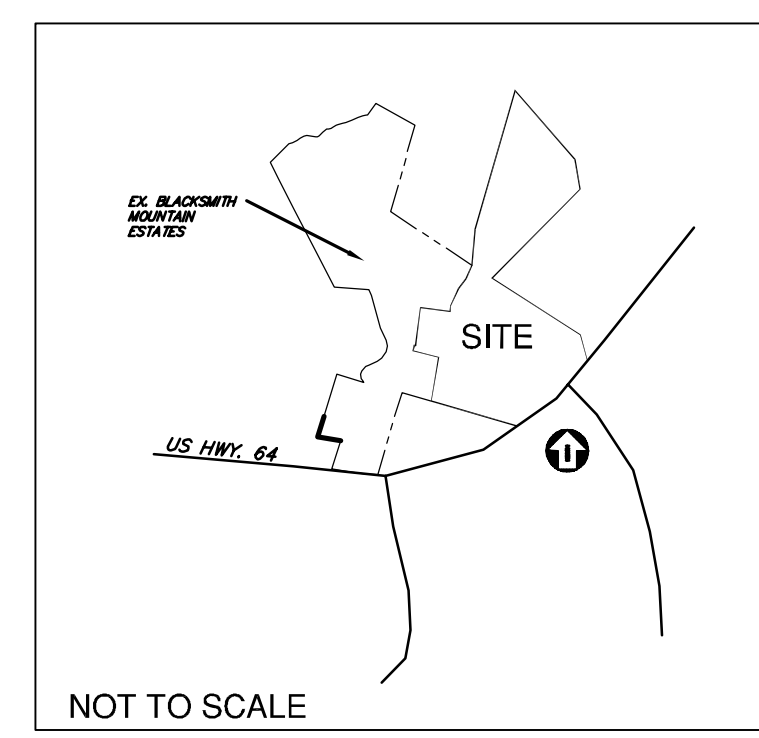
Y. ALL SIGNAGE SHALL COMPLY TO THE HENDERSON COUNTY ZONING ORDINANCE.

Z. ALL EXISTING DRIVEWAYS AND CURB CUTS THAT ARE NOT USED SHALL BE REMOVED AND REPLACED WITH CONCRETE CURB, GUTTER, AND SIDEWALK.

SEWER NOTES:

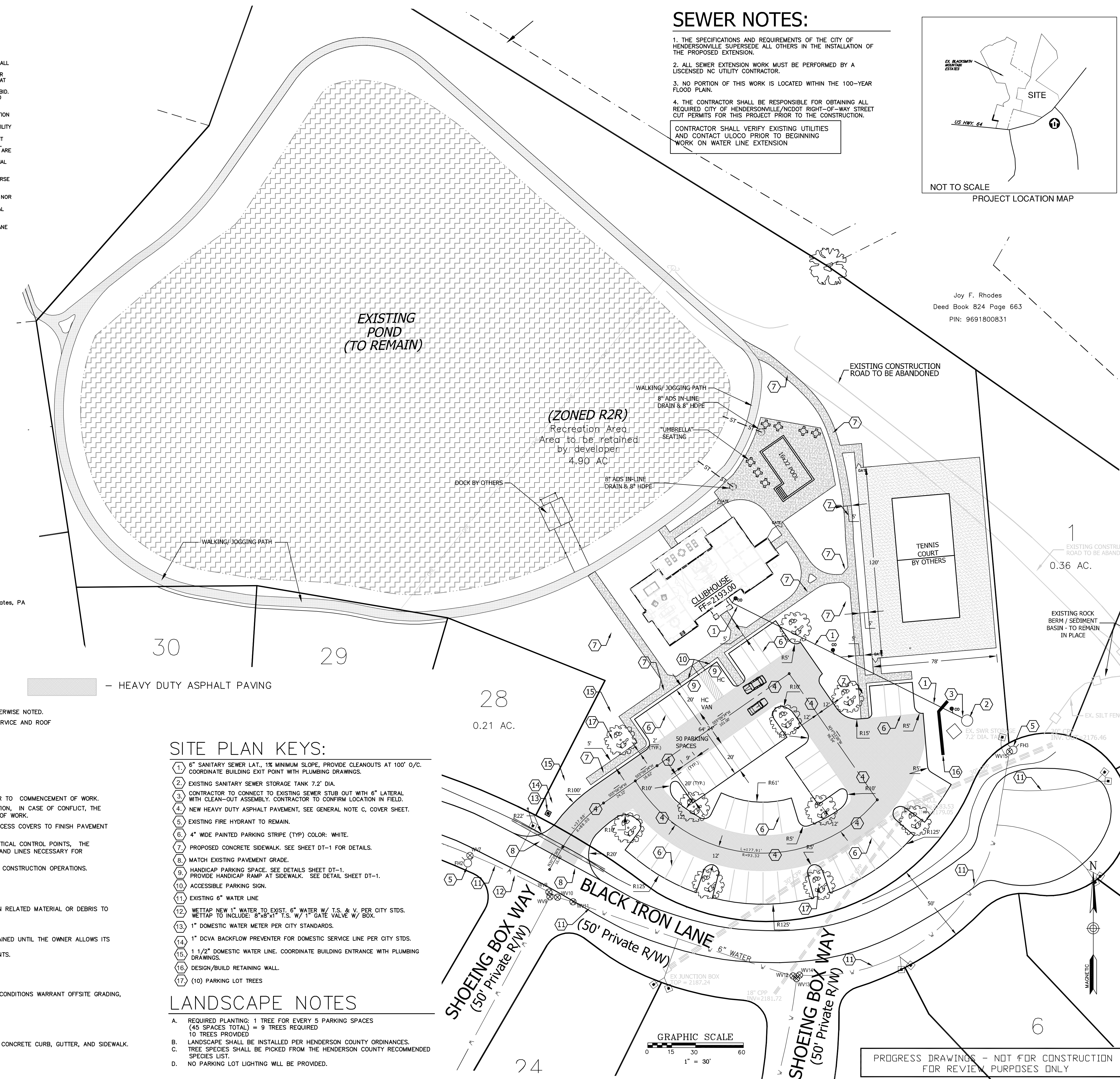
- THE SPECIFICATIONS AND REQUIREMENTS OF THE CITY OF HENDERSONVILLE SUPERSEDE ALL OTHERS IN THE INSTALLATION OF THE PROPOSED EXTENSION.
- ALL SEWER EXTENSION WORK MUST BE PERFORMED BY A LICENSED NC UTILITY CONTRACTOR.
- NO PORTION OF THIS WORK IS LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CITY OF HENDERSONVILLE NCDOT RIGHT-OF-WAY STREET CUT PERMITS FOR THIS PROJECT PRIOR TO THE CONSTRUCTION.

CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND CONTACT ULCOCO PRIOR TO BEGINNING WORK ON WATER LINE EXTENSION



NOT TO SCALE
PROJECT LOCATION MAP

Joy F. Rhodes
Deed Book 824 Page 663
PIN: 9691800831

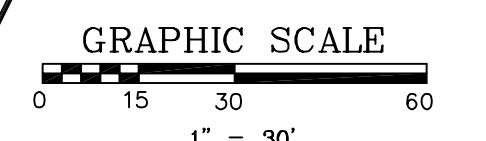


SITE PLAN KEYS:

- 6" SANITARY SEWER LAT., 1% MINIMUM SLOPE. PROVIDE CLEANOUTS AT 100' O/C. COORDINATE BUILDING EXIT POINT WITH PLUMBING DRAWINGS.
- EXISTING SANITARY SEWER STORAGE TANK 7.2' DIA.
- CONTRACTOR TO CONNECT TO EXISTING SEWER STUB OUT WITH 6" LATERAL WITH CLEAN-OUT ASSEMBLY. CONTRACTOR TO CONFIRM LOCATION IN FIELD.
- NEW HEAVY DUTY ASPHALT PAVEMENT, SEE GENERAL NOTE C, COVER SHEET.
- EXISTING FIRE HYDRANT TO REMAIN.
- 4" WIDE PAINTED PARKING STRIPE (TYP) COLOR: WHITE.
- PROPOSED CONCRETE SIDEWALK. SEE SHEET DT-1 FOR DETAILS.
- MATCH EXISTING PAVEMENT GRADE.
- HANDICAP PARKING SPACE. SEE DETAILS SHEET DT-1.
- PROVIDE HANDICAP RAMP AT SIDEWALK. SEE DETAIL SHEET DT-1.
- ACCESSIBLE PARKING SIGN.
- EXISTING 6" WATER LINE
- WETTAP NEW 1" WATER TO EXIST 6" WATER W/ T.S. & V. PER CITY STDS. WETTAP TO INCLUDE: 8"x8" T.S. W/ 1" GATE VALVE W/ BOX.
- 1" DOMESTIC WATER METER PER CITY STANDARDS.
- 1" DCVA BACKFLOW PREVENTER FOR DOMESTIC SERVICE LINE PER CITY STDS.
- 1 1/2" DOMESTIC WATER LINE. COORDINATE BUILDING ENTRANCE WITH PLUMBING DRAWINGS.
- DESIGN/BUILD RETAINING WALL.
- (10) PARKING LOT TREES

LANDSCAPE NOTES

- REQUIRED PLANTING: 1 TREE FOR EVERY 5 PARKING SPACES (45 SPACES TOTAL) = 9 TREES REQUIRED
10 TREES PROVIDED
- LANDSCAPE SHALL BE INSTALLED PER HENDERSON COUNTY ORDINANCES.
- TREE SPECIES SHALL BE PICKED FROM THE HENDERSON COUNTY RECOMMENDED SPECIES LIST.
- NO PARKING LOT LIGHTING WILL BE PROVIDED.



PROGRESS DRAWINGS - NOT FOR CONSTRUCTION
FOR REVIEW PURPOSES ONLY

Date	11/27/10
REVISIONS/SUBMISSIONS	
NO.	
SUBMITTED TO HENDERSON CO.	
PRELIMINARY - DO NOT USE FOR CONSTRUCTION	
Reviewed:	S.M.L.
Scale:	AS NOTED
Drawn:	B.G.R.
Checked:	M.E.D.
Date:	11-24-10
17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksandmedlock.com	
Planning • Engineering • Surveying • Environmental Services •	
Project No:	175206
	C1
	1 of 6
Drawing Title:	SITE LAYOUT AND UTILITY PLAN

JURISDICTIONAL NOTES:

All road improvements along the property street frontage shall be coordinated with the Henderson County Planning Department and NCDOT prior to construction.

Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.

The developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.

Non-standard items (i.e. pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the North Carolina Department of Transportation before installation.

Contractor to provide 6" CABG under all storm structures.

Owner/Developer: Vista Developers, LLC
 525 N. Main Street
 Hendersonville, NC 28792
 Property PIN.: 9691-70-7867

CONSTRUCTION NOTES:

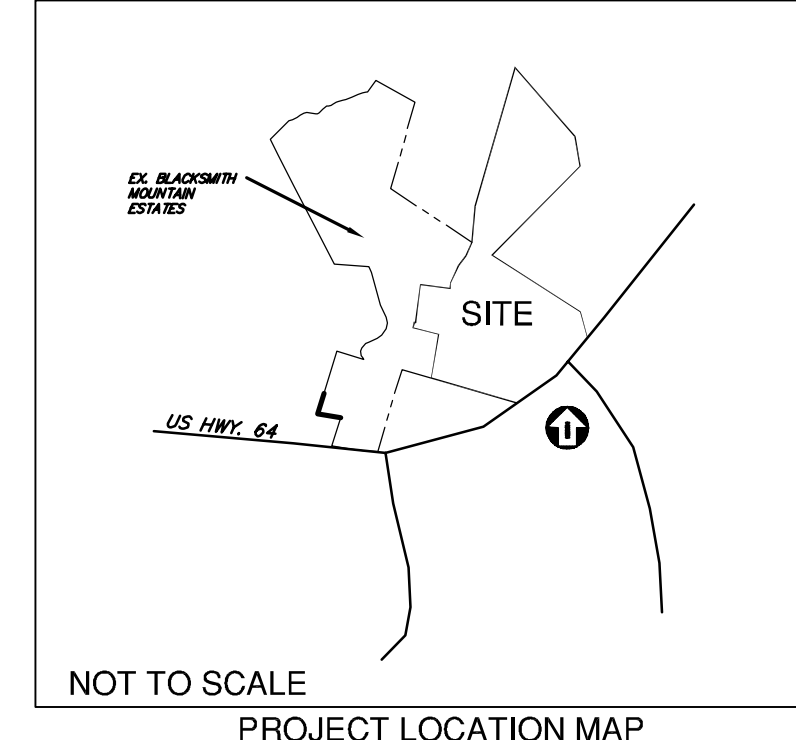
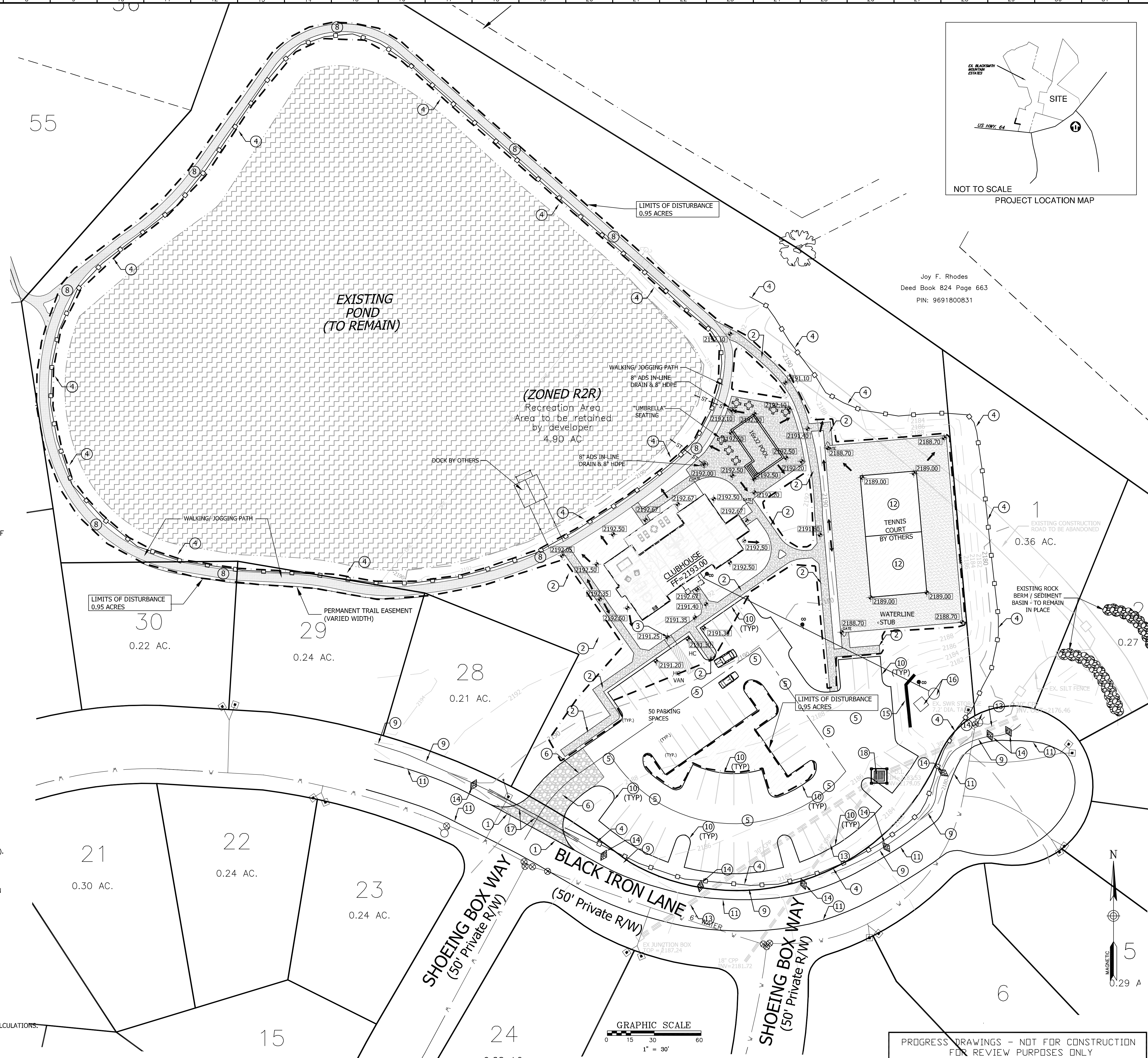
- NO MASS GRADING PROPOSED FOR SITE. THE ONLY GRADING ACTIVITIES PROPOSED WILL BE FINE GRADING AROUND BUILDING, POOL AREAS, AND LANDSCAPE ISLANDS.
- EXISTING TOPOGRAPHICAL INFORMATION SHOWN HEREON WAS OBTAINED FROM A SURVEY PERFORMED BY FREELAND-CLINKSCALES.
- ALL PAVEMENT TO BE LIGHT DUTY ASPHALT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNERS FACILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGES WHICH OCCUR DURING CONSTRUCTION.
- LOCATION OF ALL EXISTING UTILITIES, AS SHOWN HEREON, ARE APPROXIMATE ONLY. NO GUARANTEE IS MADE OR IMPLIED BY THE LOCATION REFLECTED IN THE PLANS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE TYPE, SIZE AND LOCATION OF ALL UTILITIES AND OTHER FEATURES WHICH MAY EFFECT CONSTRUCTION OR THE INTENDED FUNCTION OF THE DESIGN. CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO CONSTRUCTION IF EXISTING CONDITIONS DIFFER FROM THAT INDICATED IN THE PLANS.
- CONTRACTOR SHALL MAINTAIN LIMITS OF CLEARING AND GRADING OF EXISTING VEGETATION WITHIN 5' OF LIMITS OF CONSTRUCTION AS SHOWN.
- CONTRACTOR MAY USE DIVERSION BERMS TO CONTROL SEDIMENT LADEN RUNOFF IN PLACE OF SILT FENCE AS COORDINATED WITH THE STATE INSPECTOR. REFER TO DETAIL, SHEET C-4.

SITE GRADING NOTES:

- ALL SILT BARRIERS MUST BE PLACED IMMEDIATELY FOLLOWING CLEARING. NO GRADING SHALL TAKE PLACE UNTIL SILT BARRIERS INSTALLATION IS COMPLETED.
- ALL DRAINAGE EASEMENTS MUST BE GRASSED AND/OR RIP-RAPPED PER THE PLANS TO CONTROL EROSION.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULLY IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION, AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- THE SITE SHALL RECEIVE TEMPORARY/PERMANENT SEEDING WITHIN 7 DAYS OF COMPLETION OF GRADING OPERATIONS.

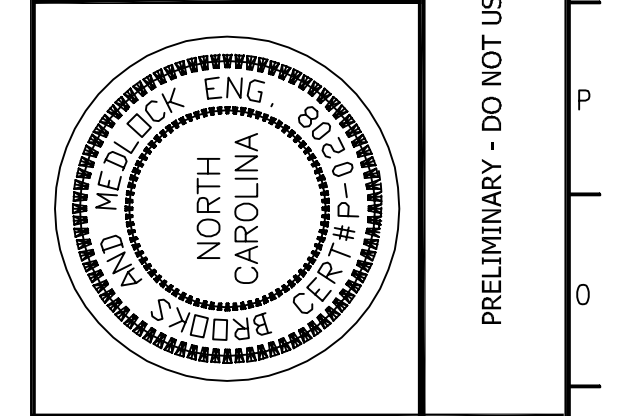
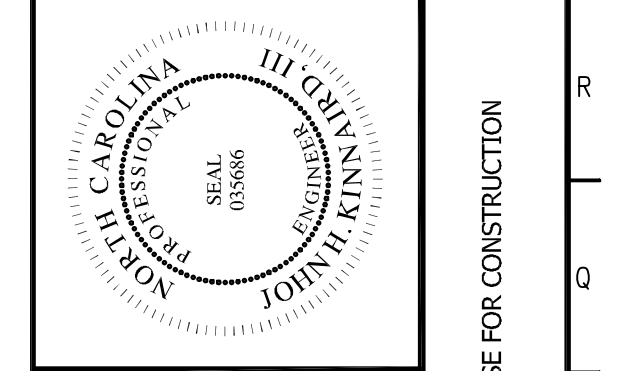
SITE KEYS

- MATCH EXISTING PAVEMENT GRADE AND ENSURE POSITIVE DRAINAGE AS INDICATED.
- CONCRETE SIDEWALK. (SEE DETAIL SHEET DT-1).
- HANDICAP RAMP / SIDEWALK PER CITY STDS.
- SILT FENCE. (SEE DETAIL, SHEET DT-1).
- HEAVY DUTY ASPHALT PAVEMENT (SEE SITE PLAN FOR LIMITS) (SEE DT-1 FOR SECTIONS).
- STD. CONSTRUCTION ENTRANCE (SEE DETAIL, SHEET DT-1).
- EXISTING DROP INLET TO REMAIN. RAISE RIM TO ELEV. 2185.40
- WALKING/JOGGING PATH AROUND POND. SEE DETAIL SHEET DT-1 FOR TYPICAL SECTION AND DETAILS.
- EXISTING DITCH TO REMAIN. LINE WITH NORTH AMERICAN GREEN SC-150 LINER. (SEE DETAIL SHEET DT-1).
- PROPOSED EDGE OF PAVEMENT.
- EXISTING EDGE OF PAVEMENT TO REMAIN.
- PROPOSED TENNIS COURTS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- EXISTING STORM DRAINAGE TO REMAIN.
- STONE CHECK DAM. (SEE DETAIL SHEET DT-1).
- PROPOSED RETAINING WALL.
- EXISTING SEWER STORAGE AND PUMP STATION. MAINTAIN EXISTING RIM ELEVATIONS.
- PROPOSED 65LF 18" RCP DRIVEWAY CULVERT #1. SEE SHEET DT-1 FOR DETAILS AND CALCULATIONS.
- ADJUST EXIST. STORM INLET GRADE TO MATCH PROPOSED GRADES SHOWN, AND PROVIDE INLET PROTECTION.

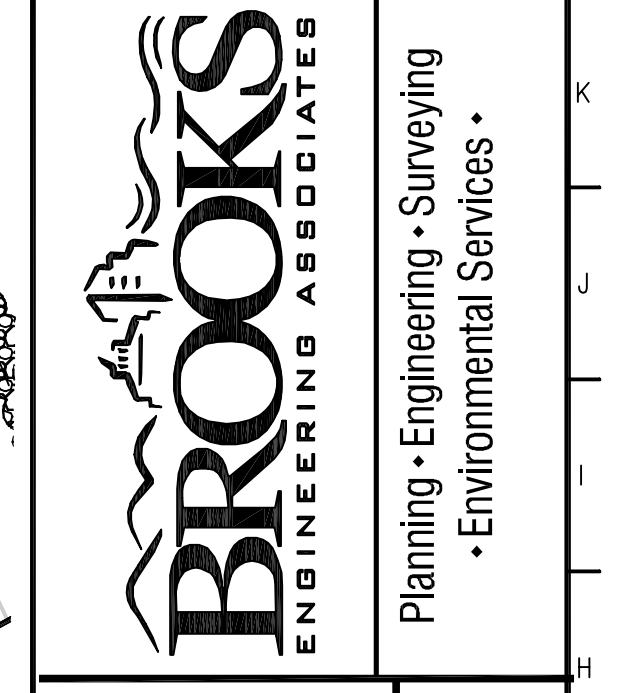


Joy F. Rhodes
 Deed Book 824 Page 663
 PIN: 9691800831

Date	11/24/10
REVISIONS/SUBMISSIONS	
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Submitted to	HENDERSON CO.



Reviewed: S.M.L.
 Scale: AS NOTED
 Drawn: B.G.R.
 Checked: M.E.D.
 Date: 11-24-10
 17 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
 www.brooksandmedlock.com



BLACKSMITH RUN SUBDIVISION
 VISTA DEVELOPERS, LLC
 CLUBHOUSE SITE DEVELOPMENT PLAN
 NORTH CAROLINA
 EDNEYVILLE

Project No: 175206
 C2
 1 of 6
 Drawing Title: GRADING, DRAINAGE, & EROSION CONTROL PLAN

PROGRESS DRAWINGS - NOT FOR CONSTRUCTION FOR REVIEW PURPOSES ONLY

