

**Henderson County
Code Enforcement Services**

100 N King St Hendersonville, North Carolina 28792
Phone (828) 697-4857 Fax (828) 697-4535

MEMORANDUM

DATE: October 21, 2010
TO: Technical Review Committee
TRC MEETING DATE: November 2, 2010
REGARDING: Major Site Plan Review
NAME OF APPLICANT: Mark and Susan Olivari
DEPARTMENT: Code Enforcement Services
STAFF CONTACT: Toby Linville
ATTACHMENTS: Site Plans

Please find attached plans for the following development proposal to be reviewed by the Henderson County Technical Review Committee on June 15, 2010.

Major Site Plan Review

Stewart Stepp submitted the major site plan for this project for the owners Mark and Susan Olivari. They wish to utilize the property for a Manufacturing and Production Warehouse which requires major site plan review per S.R. 10.8.

SR 10.8. *Manufacturing and Production Operations*

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-299 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Dust Reduction. Unpaved *roads, travelways* and/or parking areas shall be treated to prevent dust from adverse affects to adjacent properties.

The project site is located on .41 acres of land (PIN 9577834808) located along Highland Park Rd near the intersection with W Blue Ridge Rd. The project is located in a Local Commercial zoning district. The project meets the requirements of the Land Development Code and the major site plan requirements are met.

If you would like to submit your changes early please use the comment sheet provided and sending it back via email to tlinville@hendersoncountync.org.

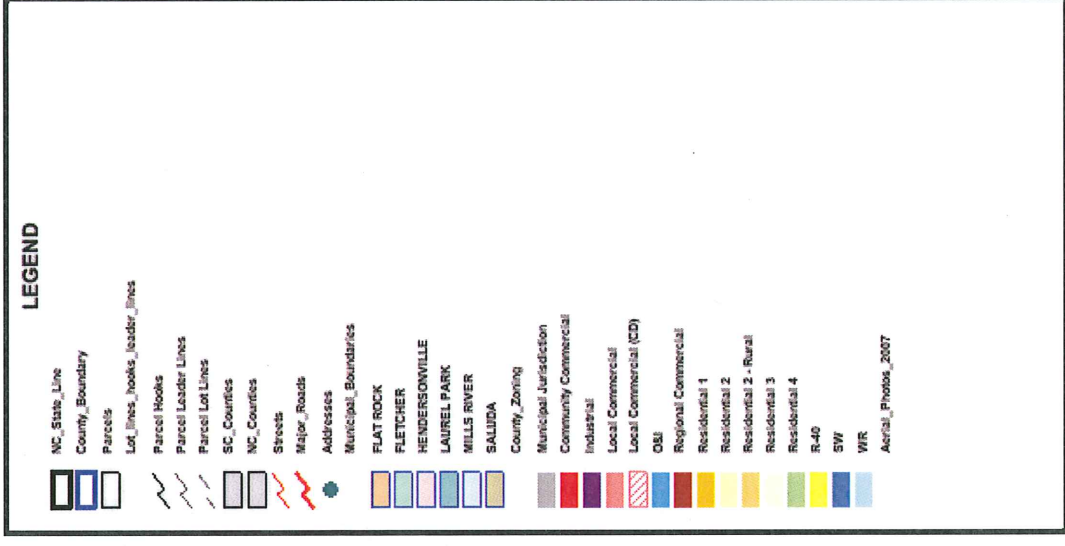
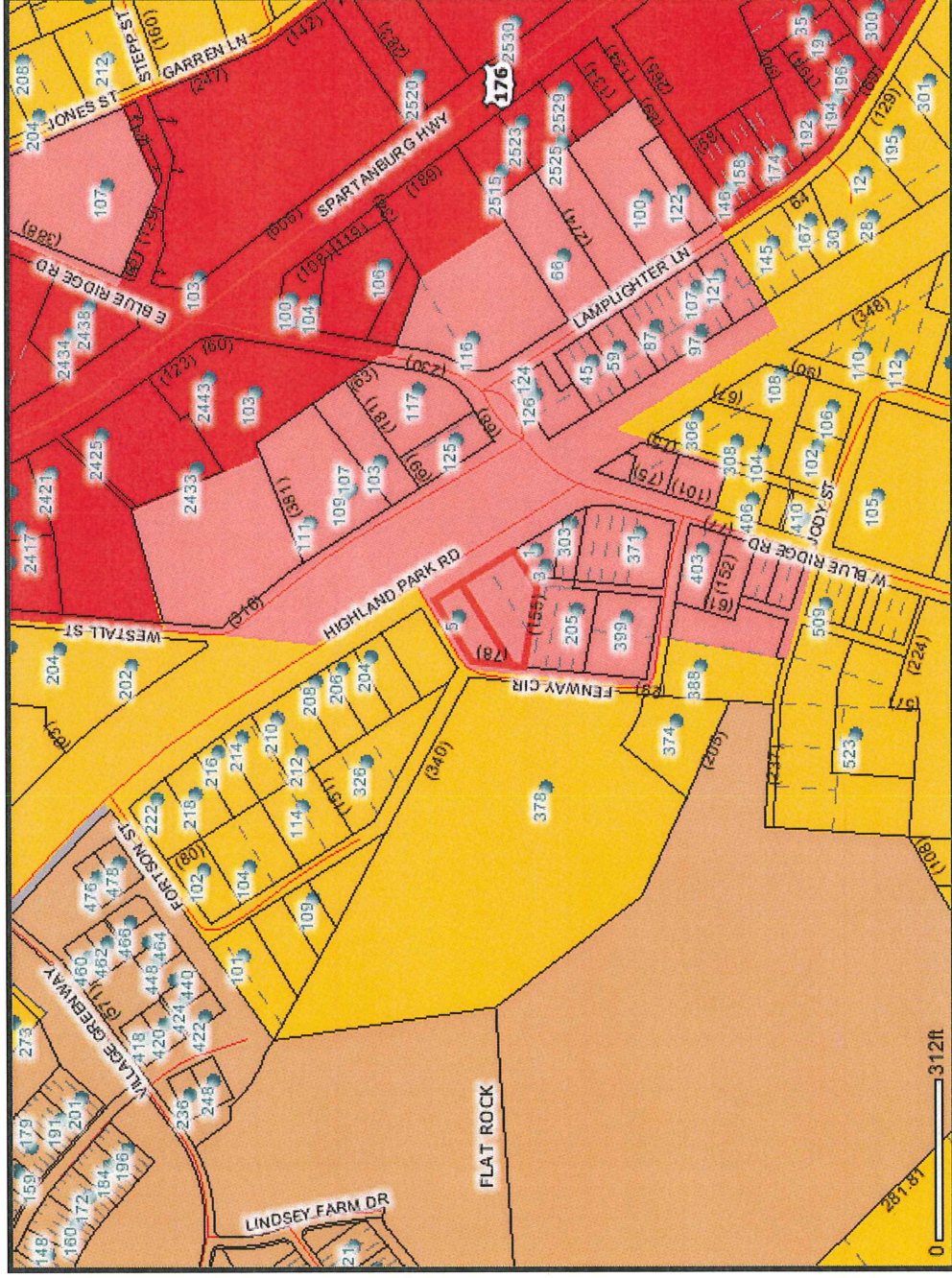
Henderson County, NC - Zoning Information Report

Date: October 21, 2010 PIN: 9577834808 Parcel Number: 9927751
Owner Name: OLIVARI, MARK ; OLIVARI, SUSAN
Mailing Address: PO BOX 156
Situation Address: No Address Found



| | |
|---|--|
| History: | No History Found |
| Permit: | No Permit Found |
| Date: | No Date Found |
| NEW Zoning Districts: | Local Commercial |
| Acreage: | 0.4100 |
| Municipality Boundaries: | No City Found |
| Water Supply Watersheds: | No Watershed Found |
| OLD 1982 Flood Zones 03-01-1982: | No Flood Zone Found |
| NEW 2008 Flood Zones 10-02-2008: | Zone X, Not Shaded (Areas outside of the floodplain) |
| NEW 2008 Flood Panel 10-02-2008: | 9577 |
| Protected Ridges: | No |
| City of Hendersonville Annexation Resolution: | No |
| Fire Tax Districts: | 01 Blue Ridge Fire |

GoMAPS - Henderson County NC Public Access

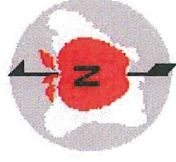


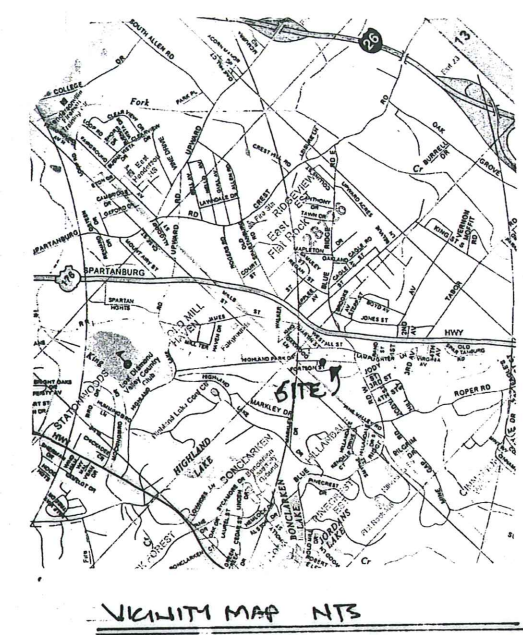
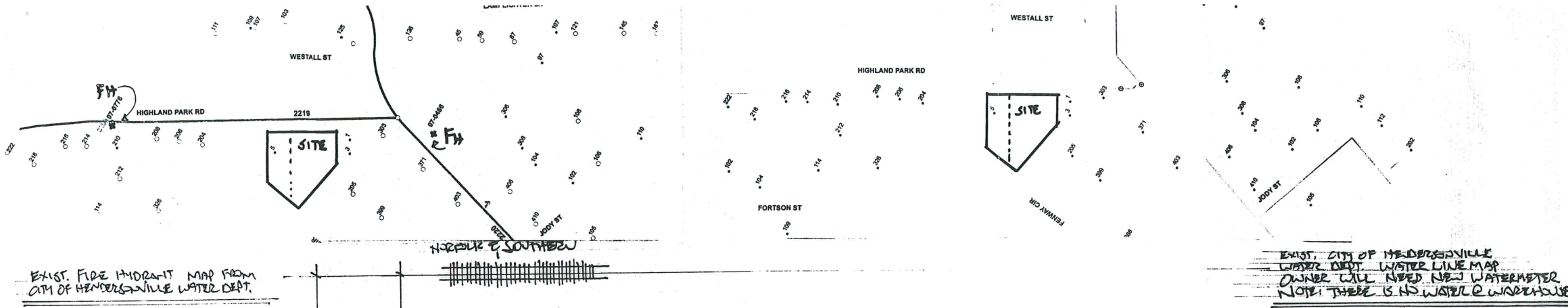
WARNING: THIS IS NOT A SURVEY!

This map is prepared for the inventory of real property found within this jurisdiction, and is compiled from recorded deeds, plats, and other public records and data. Users of this map are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map. The

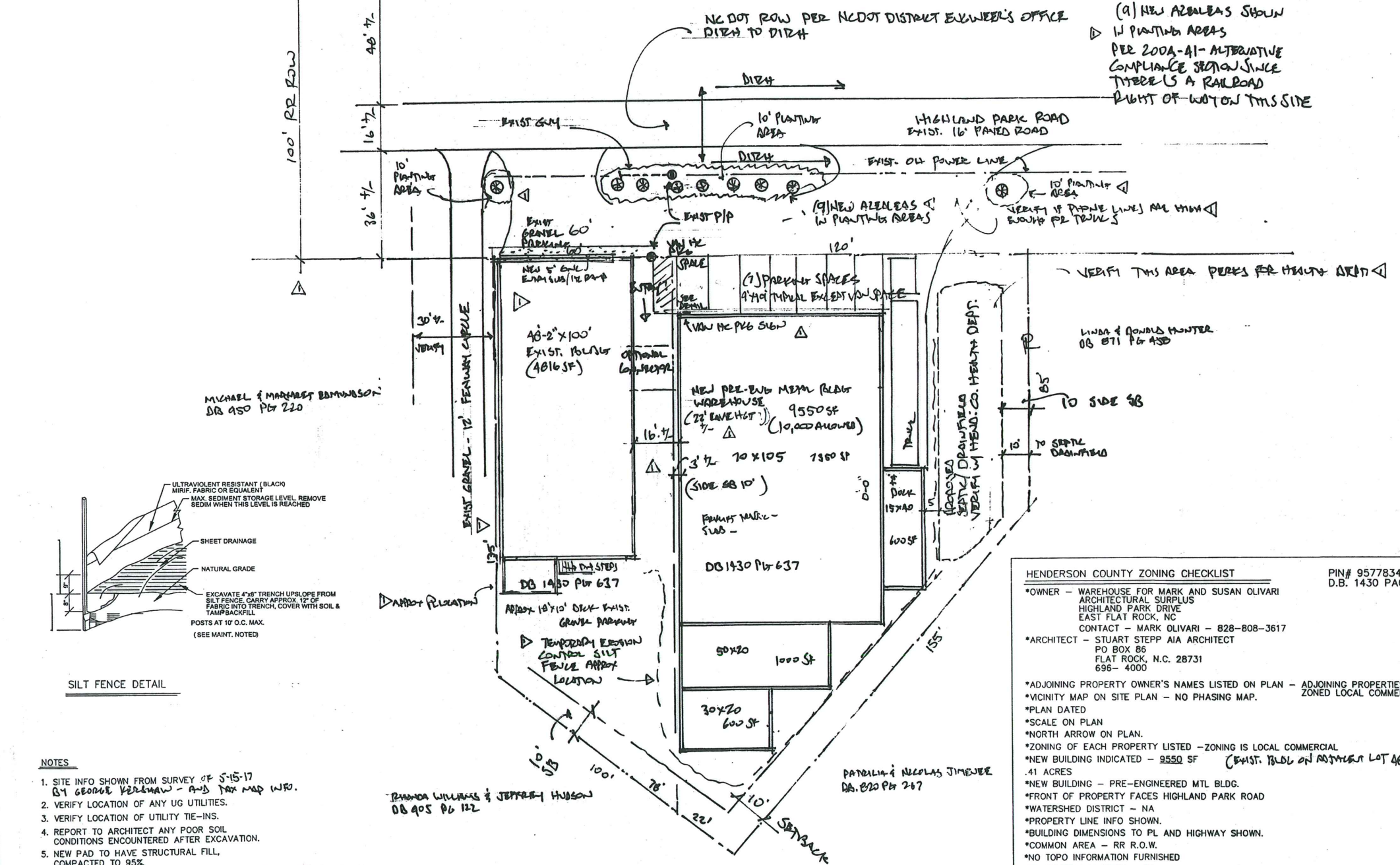
County and mapping company assume no legal responsibility for the information contained on this map.

Thursday, October 21 2010



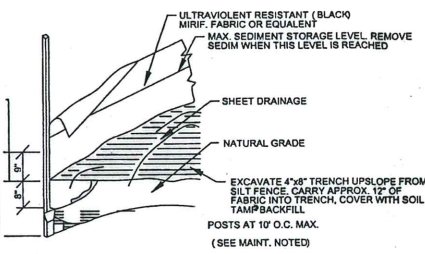


STUART STEPP, AIA ARCHITECT
 2686 B SINGLETON CENTRE
 HISTORIC FLAT ROCK NC 28731
 828-696-4000



(9) NEW ALLEYS SHOWN IN PLANTING AREAS PER 200A-41- ALTERNATIVE COMPLIANCE SECTION SINCE THERE IS A RAILROAD RIGHT OF WAY ON THIS SITE

NOTE: HENDERSON COUNTY ZONING EAST FLAT ROCK - LOCAL COMMERCIAL
 SETBACKS - FRONT 25' SIDE & REAR 10'
 ALLOWABLE USE LIGHT MANUF UP TO 10,000 SF
 FRONT PARKING - SAME AS EXISTING - PARKING ALLOWED IN FRONT PER NON-CONFORMING 200A-26B BY HENDERSON COUNTY ZONING



SILT FENCE DETAIL

- NOTES
- SITE INFO SHOWN FROM SURVEY OF 5-15-17 BY GEORGE KERNAN - AND TAX MAP INFO.
 - VERIFY LOCATION OF ANY UG UTILITIES.
 - VERIFY LOCATION OF UTILITY TIE-INS.
 - REPORT TO ARCHITECT ANY POOR SOIL CONDITIONS ENCOUNTERED AFTER EXCAVATION.
 - NEW PAD TO HAVE STRUCTURAL FILL, COMPACTED TO 95%.
 - VERIFY EXACT BLDG ELEVATION & LOCATION WITH OWNER.
 - VERIFY STORAGE AREA, SITE ACCESS & CONSTRUCTION SCHEDULE AT PRECONSTRUCTION MEETING.
 - ERECT & MAINTAIN DURING CONSTRUCTION TEMPORARY EROSION CONTROL MEASURES AS REQUIRED.

| HENDERSON COUNTY ZONING CHECKLIST | | PIN# 9577834808 |
|--|--|--------------------|
| | | D.B. 1430 PAGE 637 |
| *OWNER - WAREHOUSE FOR MARK AND SUSAN OLIVARI ARCHITECTURAL SURPLUS HIGHLAND PARK DRIVE EAST FLAT ROCK, NC CONTACT - MARK OLIVARI - 828-808-3617 | | |
| *ARCHITECT - STUART STEPP AIA ARCHITECT PO BOX 86 FLAT ROCK, N.C. 28731 696-4000 | | |
| *ADJOINING PROPERTY OWNER'S NAMES LISTED ON PLAN - ADJOINING PROPERTIES ARE ZONED LOCAL COMMERCIAL | | |
| *VICINITY MAP ON SITE PLAN - NO PHASING MAP. | | |
| *PLAN DATED | | |
| *SCALE ON PLAN | | |
| *NORTH ARROW ON PLAN. | | |
| *ZONING OF EACH PROPERTY LISTED - ZONING IS LOCAL COMMERCIAL | | |
| *NEW BUILDING INDICATED - 9550 SF (EXIST. BLDG ON ADJACENT LOT 4016 SF) | | |
| *.41 ACRES | | |
| *NEW BUILDING - PRE-ENGINEERED MTL BLDG. | | |
| *FRONT OF PROPERTY FACES HIGHLAND PARK ROAD | | |
| *WATERSHED DISTRICT - NA | | |
| *PROPERTY LINE INFO SHOWN. | | |
| *BUILDING DIMENSIONS TO PL AND HIGHWAY SHOWN. | | |
| *COMMON AREA - RR R.O.W. | | |
| *NO TOPO INFORMATION FURNISHED | | |
| *PROPOSED LOT LINES - NA. | | |
| *LENGTH OF ROAD FRONTAGE - 120' | | |
| *NO BUFFER REQUIRED. | | |
| *DISTANCE TO PROPERTY LINE INDICATED. | | |
| *PARKING - (7) NEW SPACES/(1) VAN HC SPACE | | |
| *DRIVEWAYS INDICATED - EXISTING | | |
| *PARKING SPACE SIZE SHOWN. | | |
| *LANDSCAPING - NA | | |
| *STREETS, SIDEWALKS, BIKE LANES - NA | | |
| *WATER/SEWER - WATER EXISTING - SEE NEW SEPTIC NOTES | | |
| *NEW SEPTIC/DRAINFIELD - HENDERSON COUNTY HEALTH DEPT. - SEE NOTES | | |
| *FLOODWAY/FLOODPLAIN - NA | | |
| *STORMWATER CONTROL - NA | | |
| NA = NOT APPLICABLE | | |

SITE PLAN 1"=20'

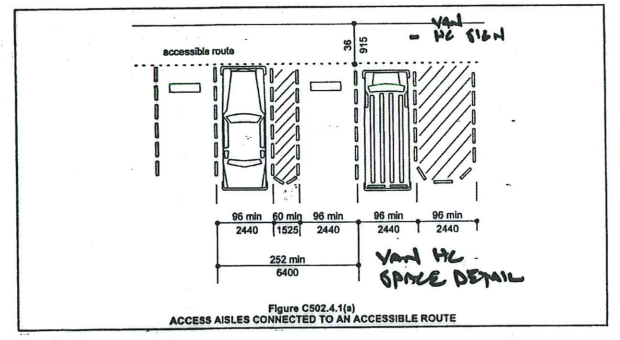


Figure C502.4.1(p) ACCESS AISLES CONNECTED TO AN ACCESSIBLE ROUTE

WAREHOUSE FOR MARK AND SUSAN OLIVARI ARCHITECTURAL AND SURPLUS HIGHLAND PARK DRIVE EAST FLAT ROCK, NC

1049
 9-27-10
 SP.1