

REQUEST FOR BOARD ACTION

Henderson County Technical Review Committee

Meeting Date: September 7, 2010

Subject: Etowah-Horse Shoe Community Plan Zoning Map Amendments

Staff Contact: Autumn Radcliff, Senior Planner

Attachments:

1. Staff Memorandum
2. Map - Existing Zoning
3. Map - Proposed Zoning Map
4. PowerPoint

SUMMARY OF REQUEST:

The Board of Commissioners, by resolution, took action on the Etowah-Horse Shoe (EHS) Communities Plan on September 16, 2009. The Board of Commissioners directed various staff and boards to begin implementation of the plan with some modifications from the original draft. The Planning Board began its discussion and review of the Plan in January of 2010. Attached for the Technical Review Committee (TRC) are the proposed zoning map amendments for the Etowah-Horse Shoe area. These proposed amendments are based on the recommendations of the Etowah-Horse Communities Plan, the County Comprehensive Plan and discussion by the Planning Board.

The Board of Commissioners (BOC) must hold a public hearing prior to taking action on the map amendments. The Planning Board and the TRC will review the amendments and make a formal recommendation to the BOC. Staff will provide the TRC with an overview of the proposed zoning map amendments.

Suggested Motion:

I move the Technical Review Committee recommend the Board of Commissioners approve the proposed map amendments, as presented and discussed, for the Etowah and Horse Shoe area based on the recommendations of the Etowah-Horse Shoe Communities Plan and consistency with the County Comprehensive Plan.

MEMORANDUM

TO: Henderson County Technical Review Committee

FROM: Autumn Radcliff, Senior Planner

DATE: August 26, 2010

SUBJECT: Zoning Map Amendments for the Etowah-Horse Shoe Communities

The Board of Commissioners, by resolution, took action on the Etowah-Horse Shoe (EHS) Communities Plan on September 16, 2009. The Board of Commissioners directed various staff and boards to begin implementation of the plan (with some modifications from the original draft). Since January 2010, the Planning Board has been reviewing and discussing the zoning map recommendations for the Etowah/Horse Shoe Communities Plan. On August 18, 2010, the Board of Commissioners received a preview of the proposed amendments.

The Commissioners must hold a public hearing before taking action on the map amendments. The Planning Board and Technical Review Committee (TRC) must review the amendments and make a recommendation. Attached for TRC review are proposed zoning map amendments for the Etowah-Horse Shoe area. Staff will provide the TRC with an overview of the proposed amendments. A description the zoning map amendments are listed below.

Etowah/Horse Shoe Zoning Map Amendments:

1. Residential Zoning Amendments :

- a. **Residential 1 (R1)**: The proposed map amendments will extend the existing R1 (Residential 1) zoning district to include the Etowah Country Golf course and adjacent parcels from the golf course to the existing R1 zoning district.
- b. **Residential 2 (R2)**: The area to the north of U.S. Highway 64W and east of the Etowah community is proposed to be rezoned to a R2 (Residential 2) zoning district. This will rezone much of the area from an existing R2R (Rural Residential 2) and R40 (Estate Residential) zoning district and will adjust the zoning district boundary lines to match parcel lines.
- c. **Residential 3 (R3)**: An existing R40 zoning district to the southern boundary of the Etowah-Horse Shoe Communities Plan, near the proposed Seven Falls subdivision, is proposed to be rezoned to an R3 (Residential 3) zoning district. The area abutting this area within the planning area is currently zoned R3.

2. Commercial Zoning Amendments:

- a. **Local Commercial (LC)**:

- i. **Morgan Road Area**: The area along both sides of Morgan Road extending south to U.S. Highway 64W is proposed to be rezoned to a LC (Local Commercial) zoning district. The LC zoning district allows for limited commercial and residential (single-family included) uses.
 - ii. **Along U.S. Highway 64W**: The area along U.S. Highway 64W from an existing CC (Community Commercial) zoning district extending southeast along the southern portion of U.S. Highway 64W to All Star Lane (near South Rugby Road) is proposed to be rezoned to a LC zoning district. The area is currently zoned R-40 and R2.
- b. **Community Commercial (CC)**:
- i. **Etowah School Road & Old U.S. Highway 64**: Several parcels along Etowah School Road, that are adjacent to an existing CC zoning district, and extending southwest along Old U.S. Highway 64 are proposed to be rezoned from an R1 zoning district to a CC zoning district. This map amendment would expand an existing CC zoning district.
 - ii. **U.S. Highway 64W near the County Boundary**: The area to the north of U.S. Highway 64W from Old U.S. Highway 64 to the Henderson/Transylvania county line is proposed to be rezoned to a CC zoning district. This would provide an additional commercial node near the county boundary as recommended by the County Comprehensive Plan.

County Comprehensive Plan:

The Henderson County Board of Commissioners adopted the County Comprehensive Plan (CCP or Comprehensive Plan) on July 6, 2004. A principal recommendation of the Comprehensive Plan is the detailed study of individual communities within the County. The order these community planning areas would be studied was determined based on anticipated growth and relation to the Growth Management Strategy (established by the Comprehensive Plan).

The Etowah-Horse Shoe Communities Plan is a community-specific comprehensive plan that outlines future goals related to Land Use and Development, Community Character and Design, Natural and Cultural Resources, Agriculture, Housing, Community Facilities and Public Services, Transportation, and Economic Development as it relates to the CCP.

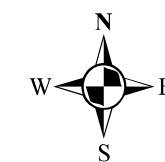
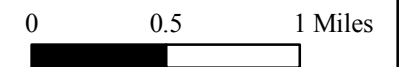
The proposed zoning map amendments are consistent with the Etowah-Horse Shoe Communities Plan and the County Comprehensive Plan.

Etowah Horse Shoe Community

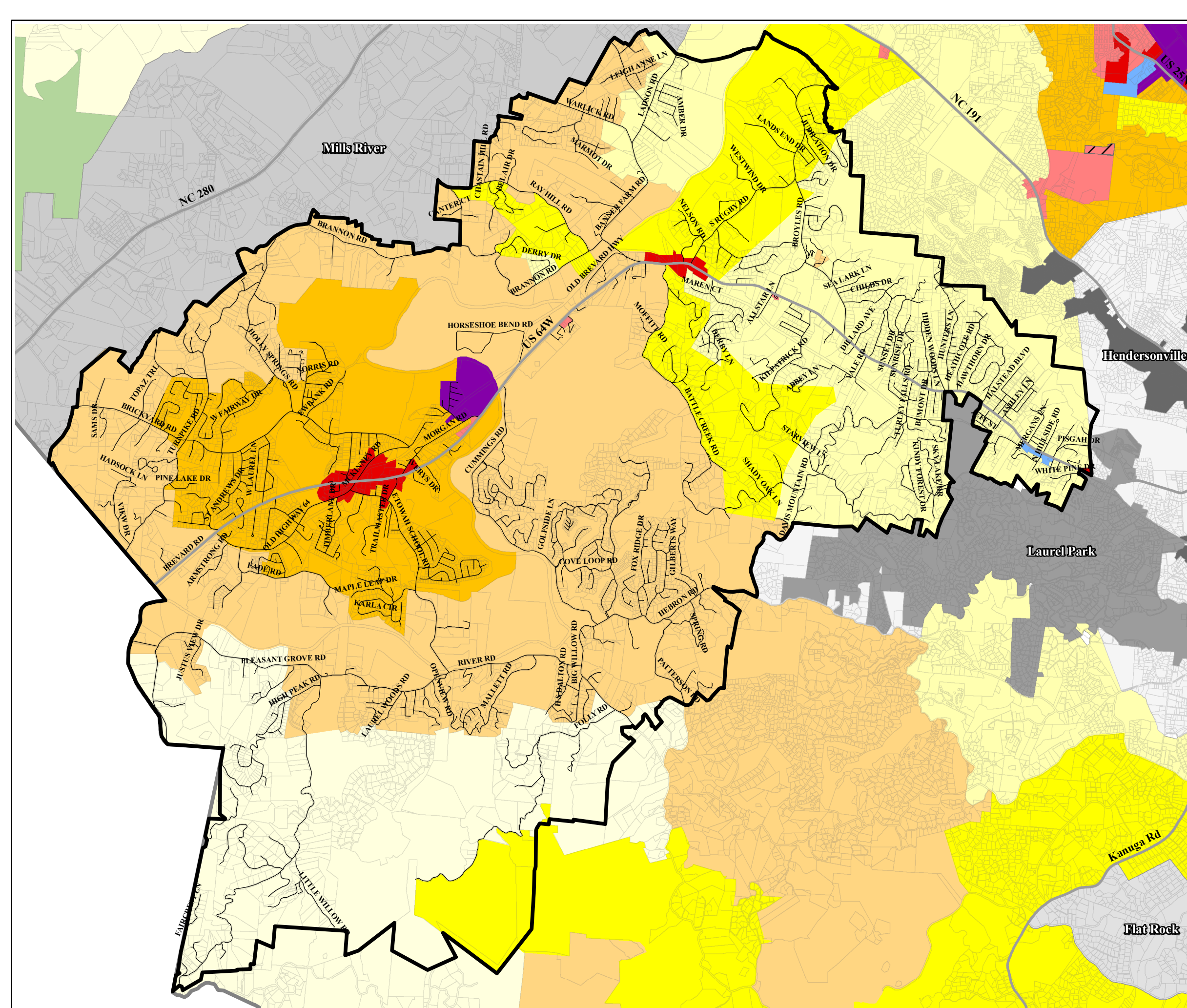
Official Zoning

-  Major Roads
-  Streets
-  Community Boundary
- Zoning Districts**
-  Residential 4
-  Residential 3
-  Residential 2 - Rural
-  Residential 2
-  Residential 1
-  R-40
-  WR
-  SW
-  O&I
-  Local Commercial
-  Local Commercial - CD
-  Community Commercial
-  Regional Commercial
-  Industrial
-  City of Hendersonville
-  Town of Laurel Park
-  Town of Mills River
-  Village of Flat Rock
-  Municipal ETJ
-  Parcels

1 inch = 0.72 miles



This map is prepared from the inventory of real property found within this jurisdiction, and is compiled from recorded deeds, plats, and other public records and data. Users of this map, are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map. The County and mapping company assume no legal responsibility for the information contained on this map.



Etowah Horse Shoe Community

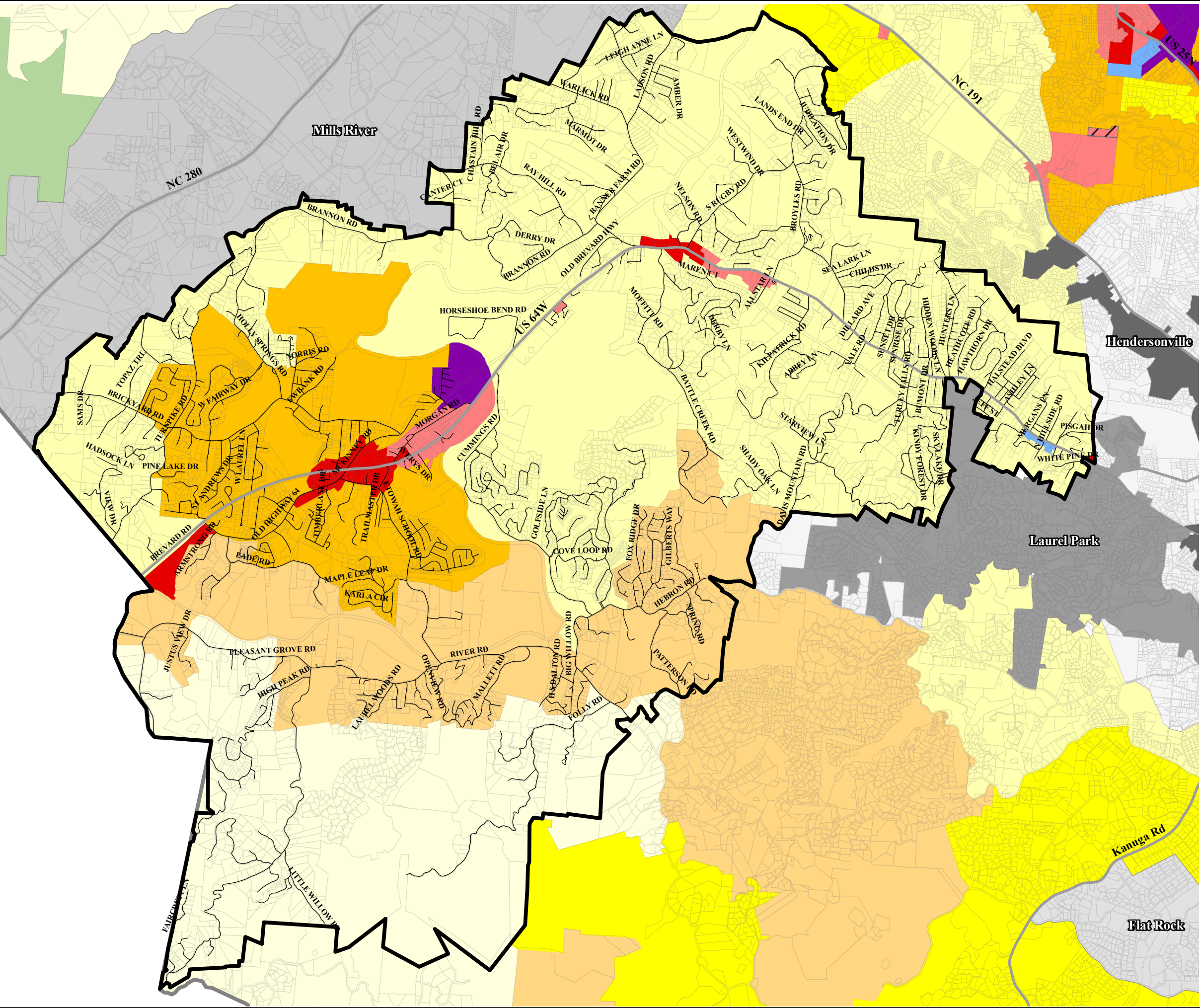
Proposed Zoning

-  Major Roads
-  Streets
-  Community Boundary
- Zoning Districts**
-  Residential 4
-  Residential 3
-  Residential 2 - Rural
-  Residential 2
-  Residential 1
-  R-40
-  WR
-  SW
-  O&I
-  Local Commercial
-  Local Commercial - CD
-  Community Commercial
-  Regional Commercial
-  Industrial
-  City of Hendersonville
-  Town of Laurel Park
-  Town of Mills River
-  Village of Flat Rock
-  Municipal ETJ
-  Parcels

1 inch = 0.72 miles
 0 0.5 1 Miles



This map is prepared from the inventory of real property found within this jurisdiction, and is compiled from recorded deeds, plats, and other public records and data. Users of this map, are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map. The County and mapping company assume no legal responsibility for the information contained on this map.



Etowah Horse-Shoe Community Plan

Zoning Map Amendments



**Technical Review Committee Meeting
September 7, 2010**

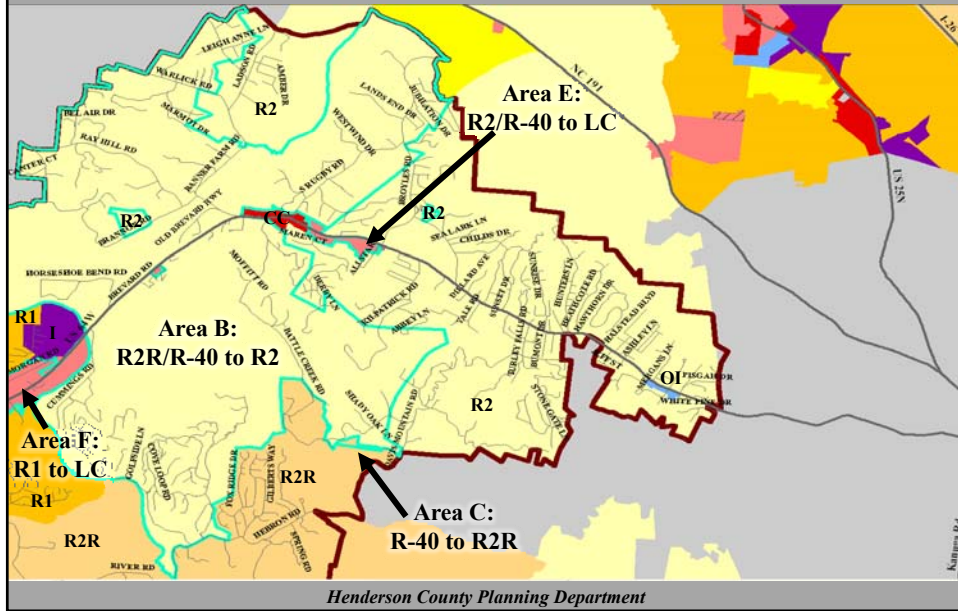
Henderson County Planning Department

Etowah Horse-Shoe Community Plan Background

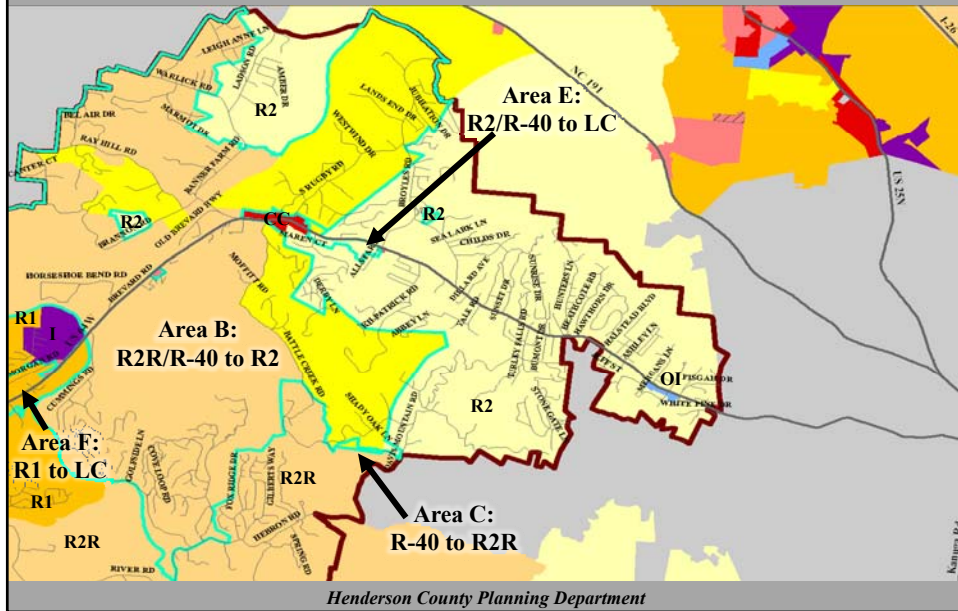
- On September 16, 2009, the BOC, by resolution, directed various staff & boards to begin implementation of the Plan (with modifications from the original draft)
- In January 2010 - Planning Board began reviewing and discussing the Plan recommendations per BOC direction.
- Proposed zoning map amendments would rezone approximately:
 - 7,400 Acres (about 3% of the County)
 - 3,000 property owners will receive mailed notices (10-25 days ahead of BOC hearing)
- Planning Board and TRC must provide a recommendation to the Board of Commissioners on the proposed map amendments BOC.
- BOC will hold a public hearing before taking action on the map amendments.

Henderson County Planning Department

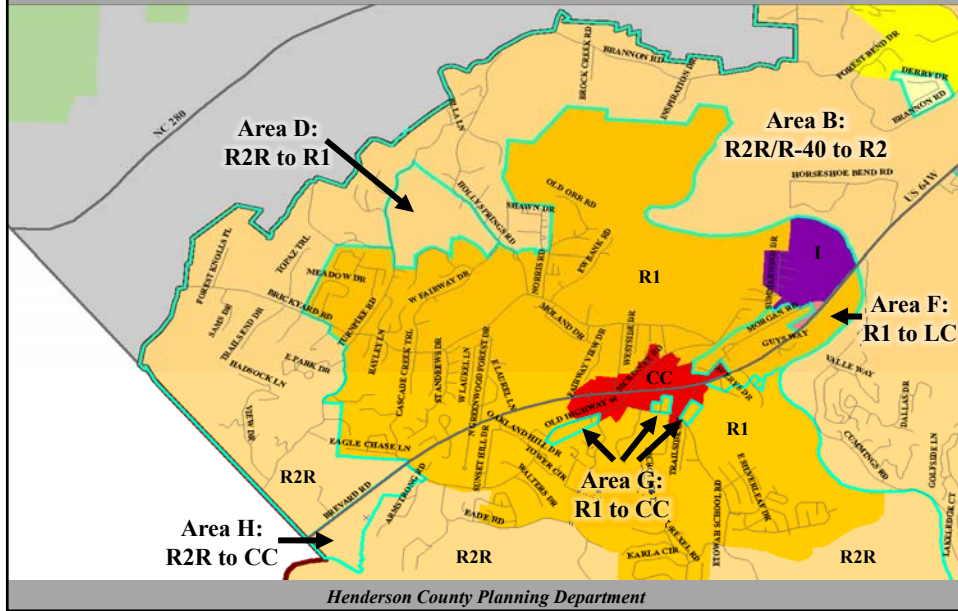
Proposed Zoning for the Horse Shoe Area



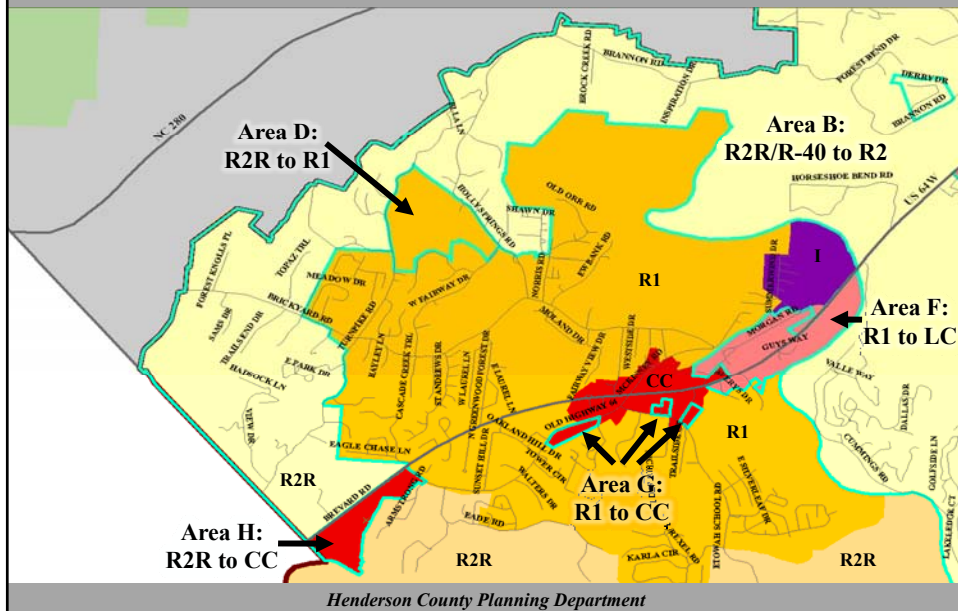
Proposed Zoning for the Horse Shoe Area



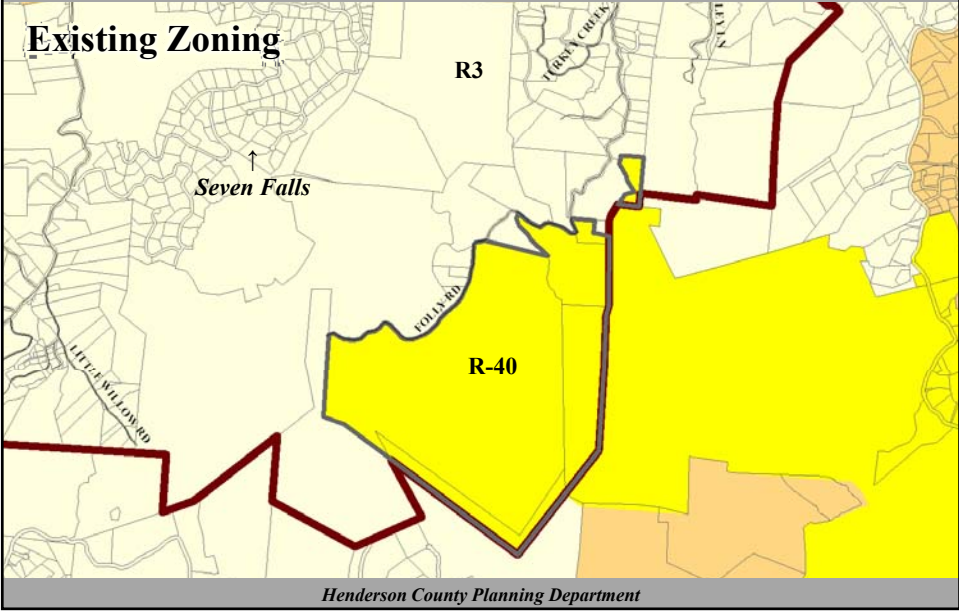
Proposed Zoning for the Etowah Area



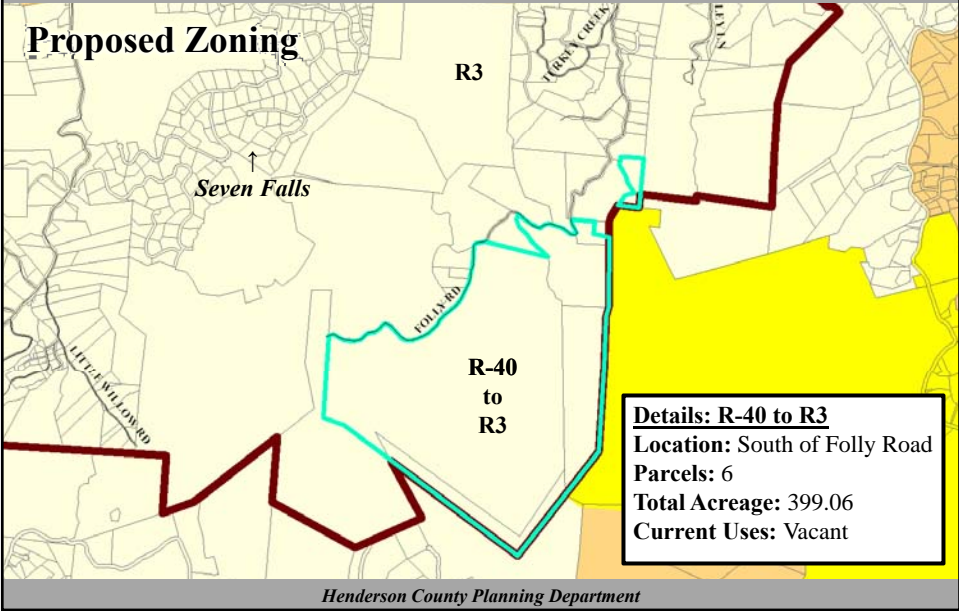
Proposed Zoning for the Etowah Area

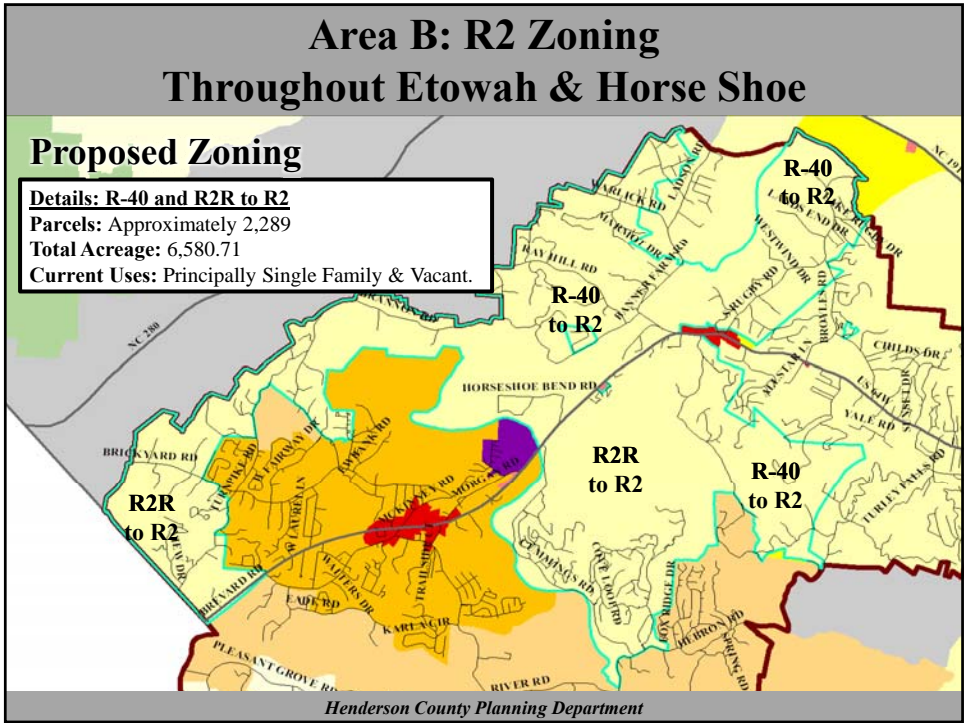
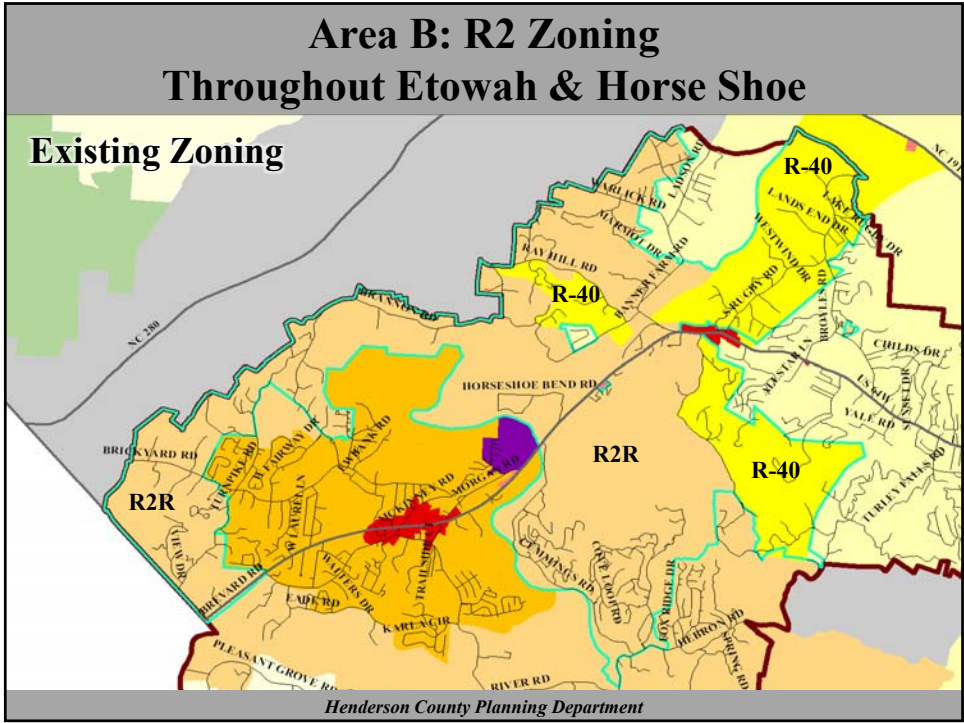


Area A: R3 Zoning Along Folly Road



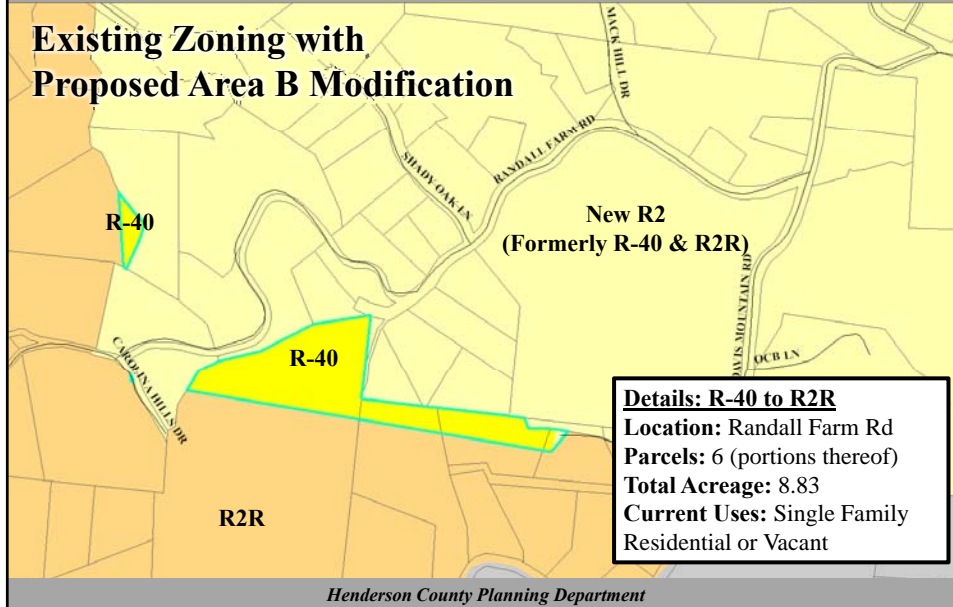
Area A: R3 Zoning Along Folly Road





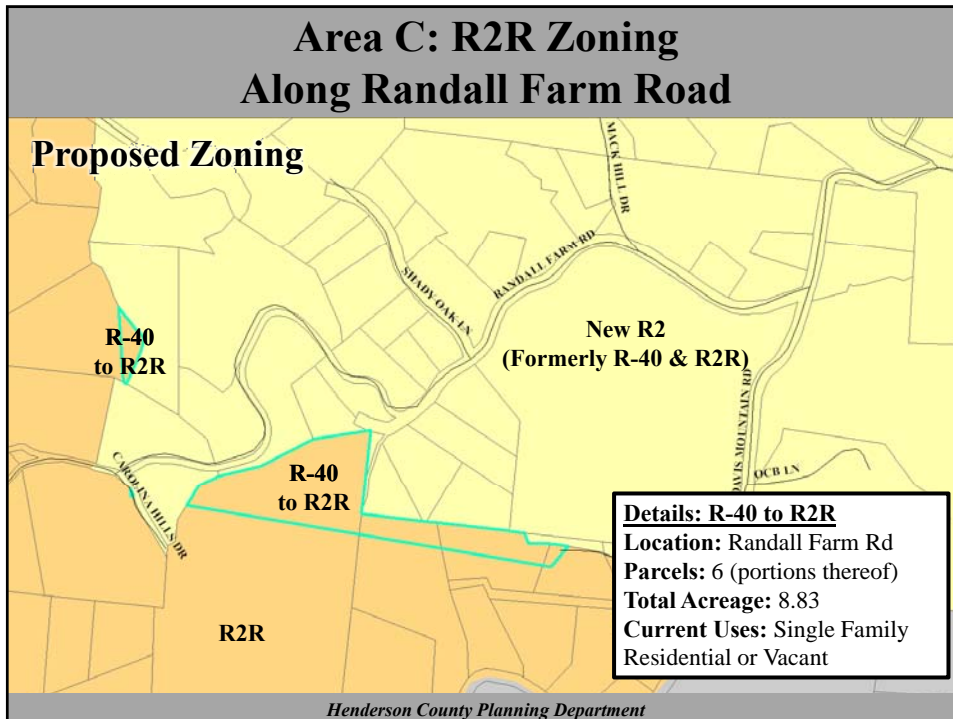
Area C: R2R Zoning Along Randall Farm Road

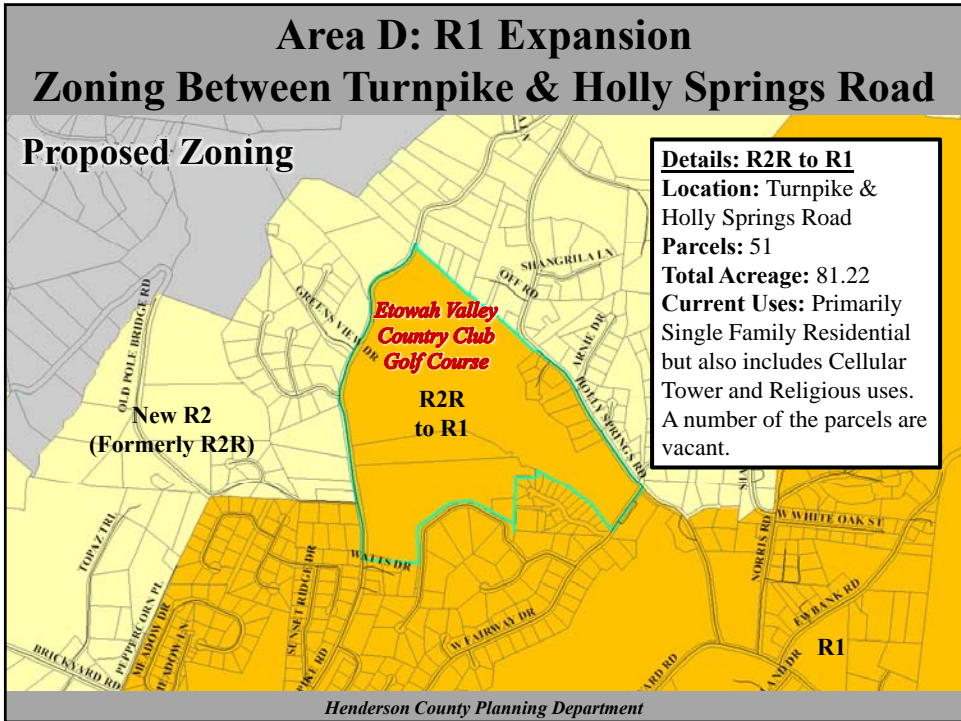
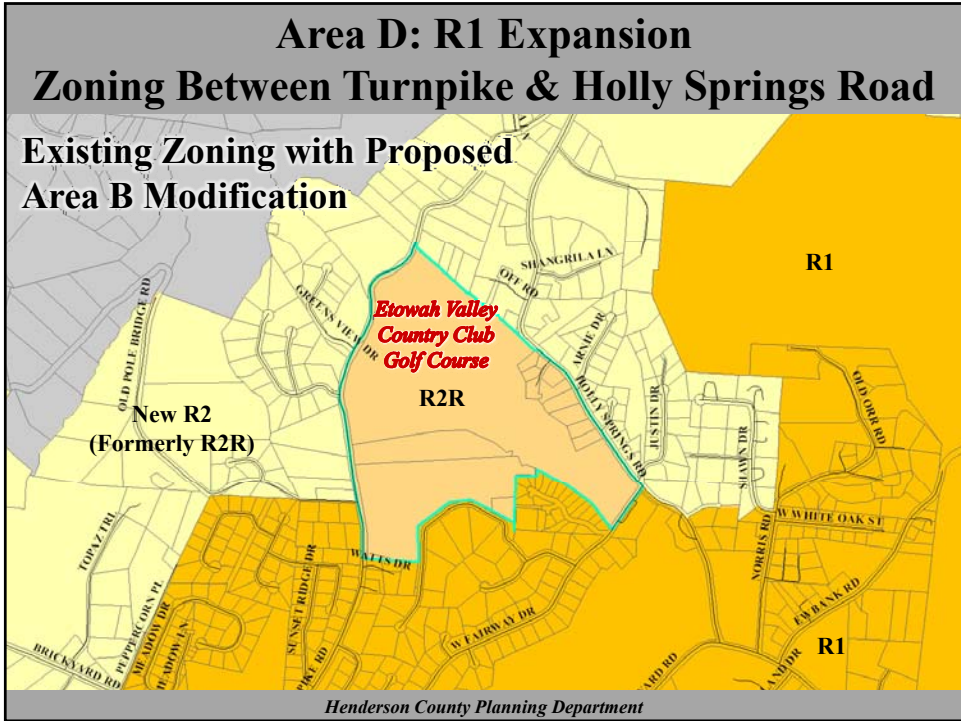
Existing Zoning with Proposed Area B Modification



Area C: R2R Zoning Along Randall Farm Road

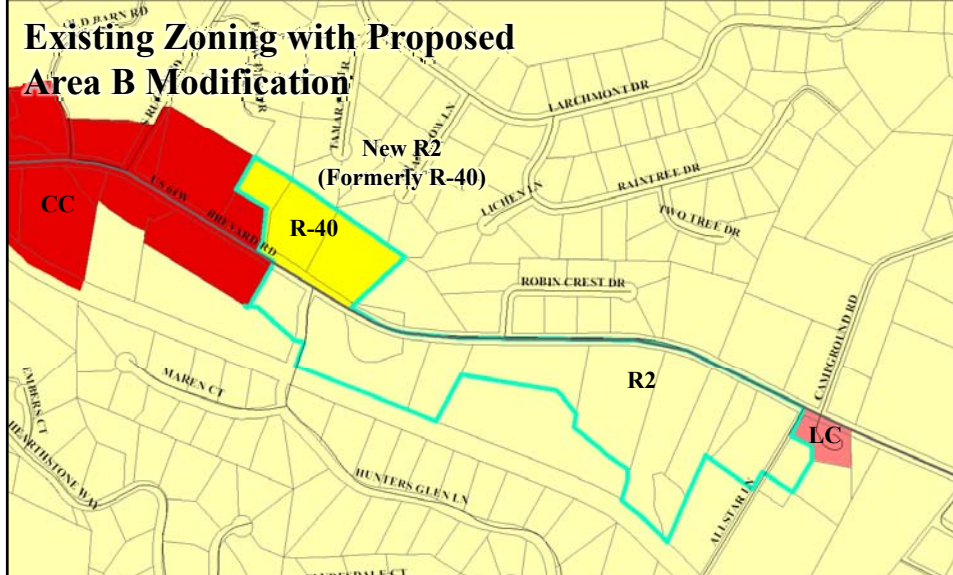
Proposed Zoning





Area E: LC Zoning Expansion US Highway 64 West and South Rugby Road

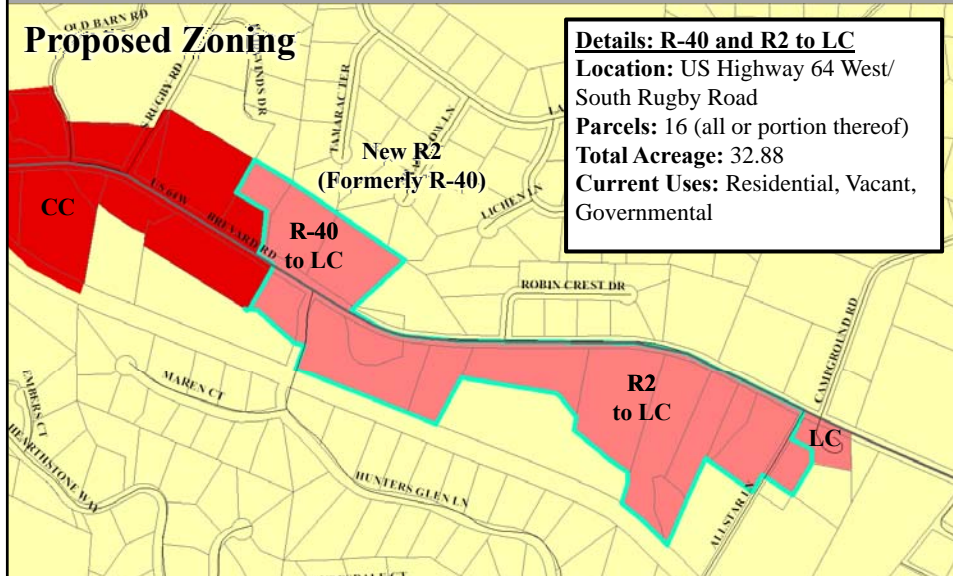
Existing Zoning with Proposed Area B Modification



Henderson County Planning Department

Area E: LC Zoning Expansion US Highway 64 West and South Rugby Road

Proposed Zoning

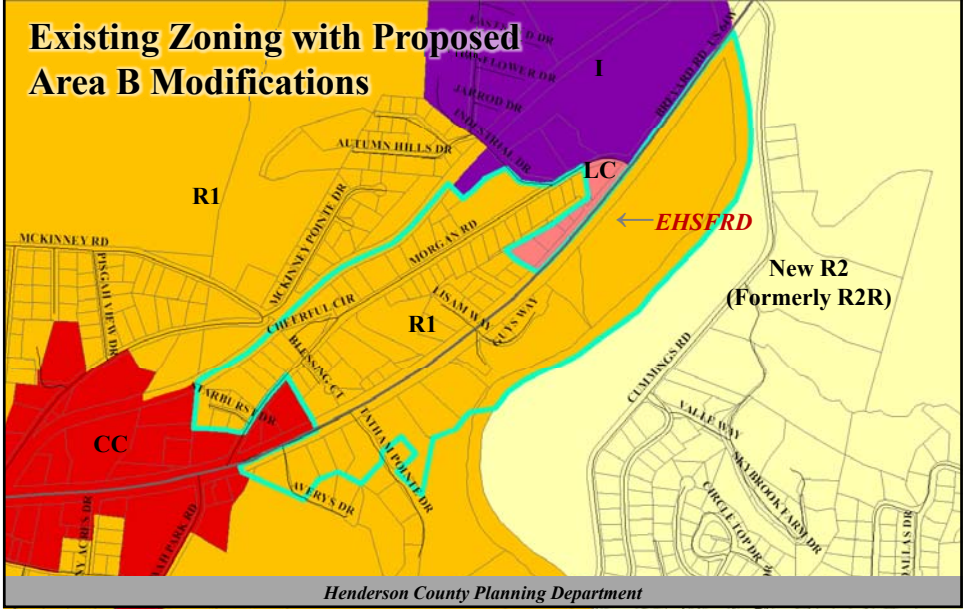


<p>Details: R-40 and R2 to LC Location: US Highway 64 West/ South Rugby Road Parcels: 16 (all or portion thereof) Total Acreage: 32.88 Current Uses: Residential, Vacant, Governmental</p>

Henderson County Planning Department

Area F: LC Zoning Expansion
LC Zoning Along US Hwy 64 W. & Morgan Rd.

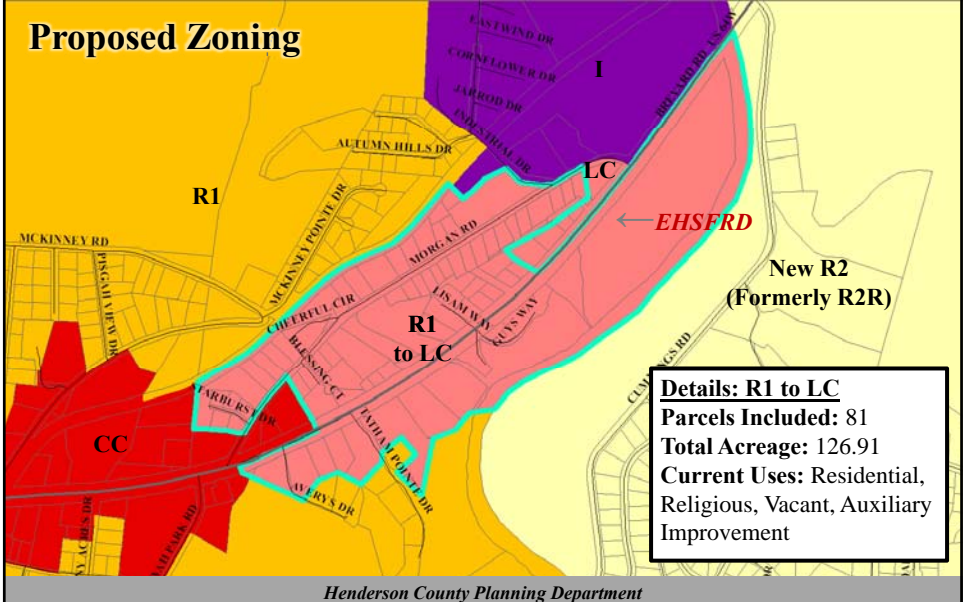
Existing Zoning with Proposed Area B Modifications



Henderson County Planning Department

Area F: LC Zoning Expansion
LC Zoning Along US Hwy 64 W. & Morgan Rd.

Proposed Zoning

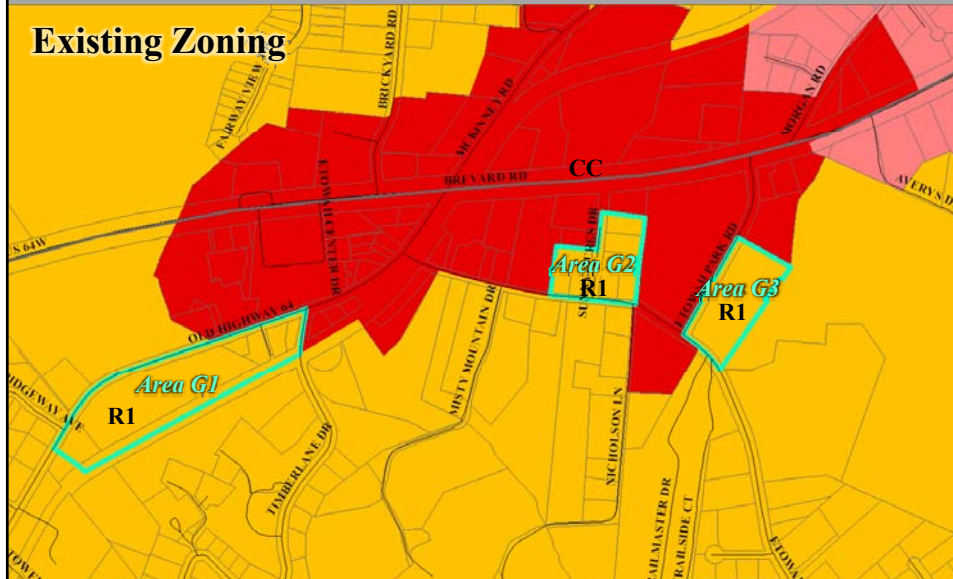


Details: R1 to LC
Parcels Included: 81
Total Acreage: 126.91
Current Uses: Residential, Religious, Vacant, Auxiliary Improvement

Henderson County Planning Department

Area G: CC Zoning Expansion Along Etowah School House Rd & Old Hwy 64

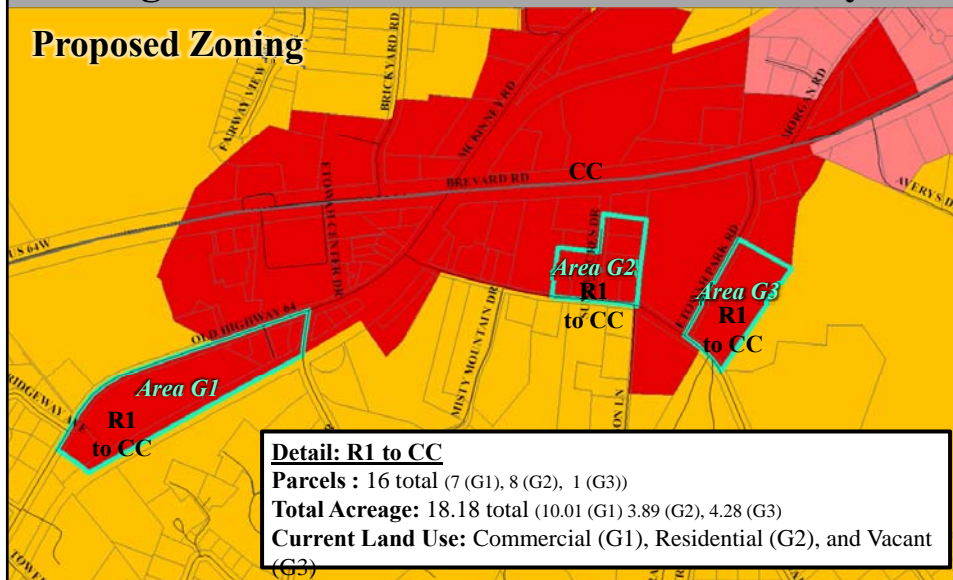
Existing Zoning



Henderson County Planning Department

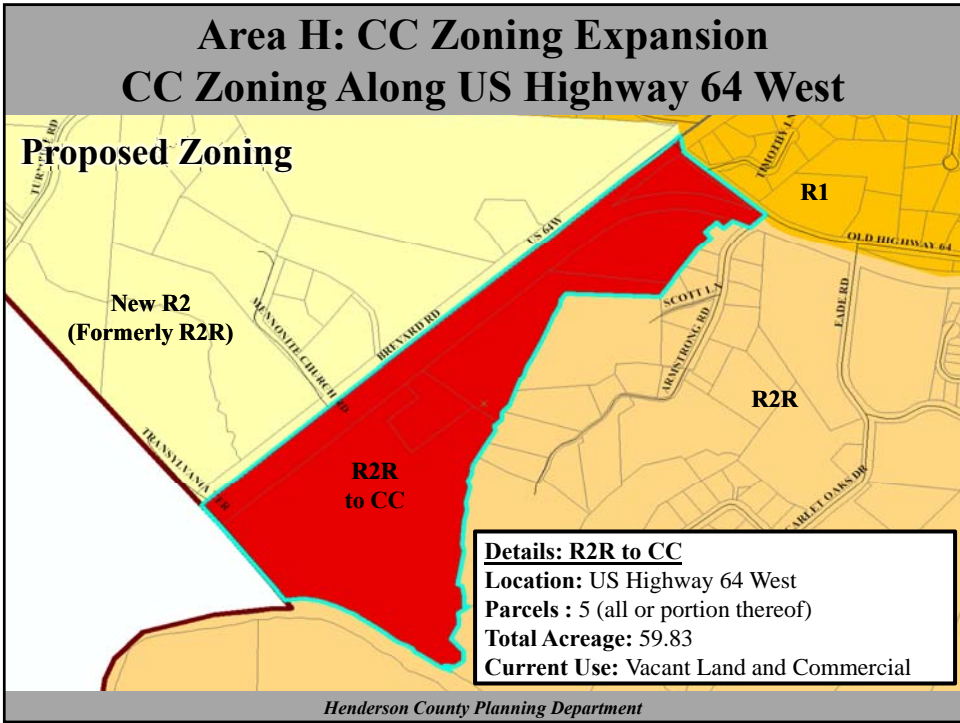
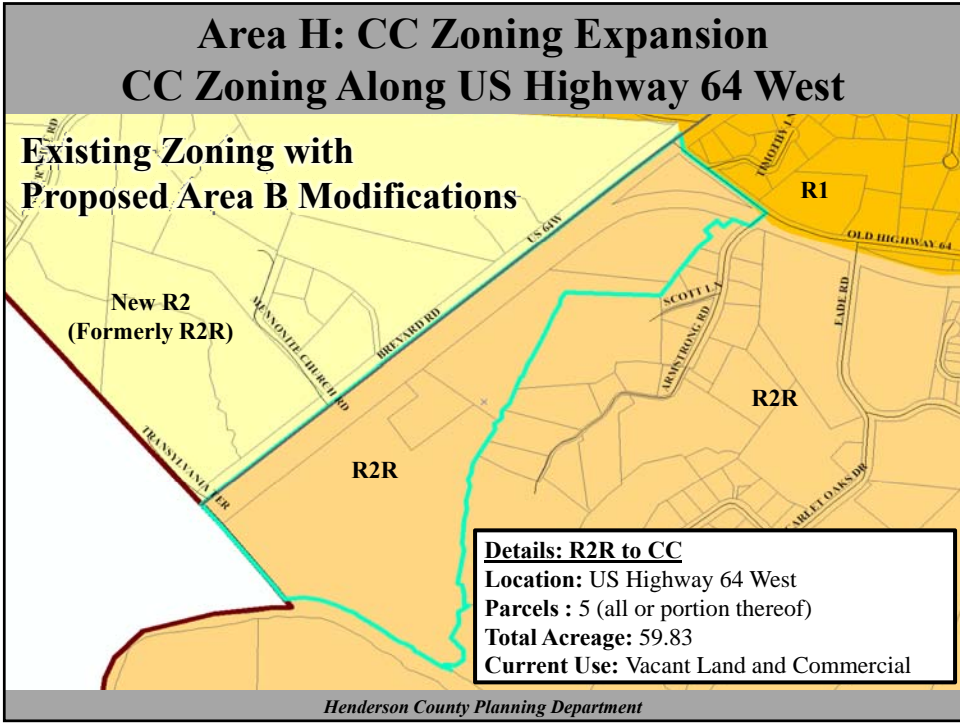
Area G: CC Zoning Expansion Along Etowah School House Rd & Old Hwy 64

Proposed Zoning

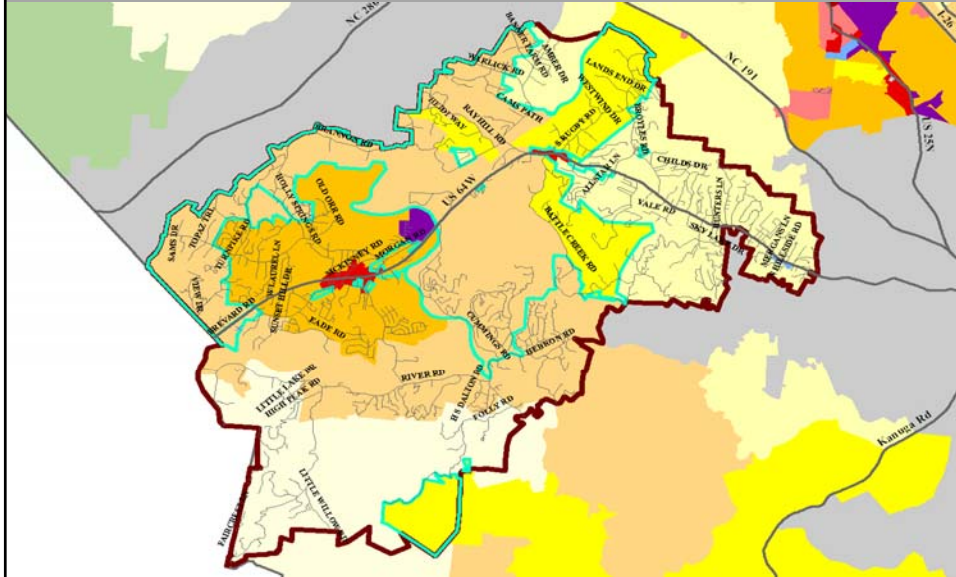


<p>Detail: R1 to CC Parcels : 16 total (7 (G1), 8 (G2), 1 (G3)) Total Acreage: 18.18 total (10.01 (G1) 3.89 (G2), 4.28 (G3)) Current Land Use: Commercial (G1), Residential (G2), and Vacant (G3)</p>
--

Henderson County Planning Department

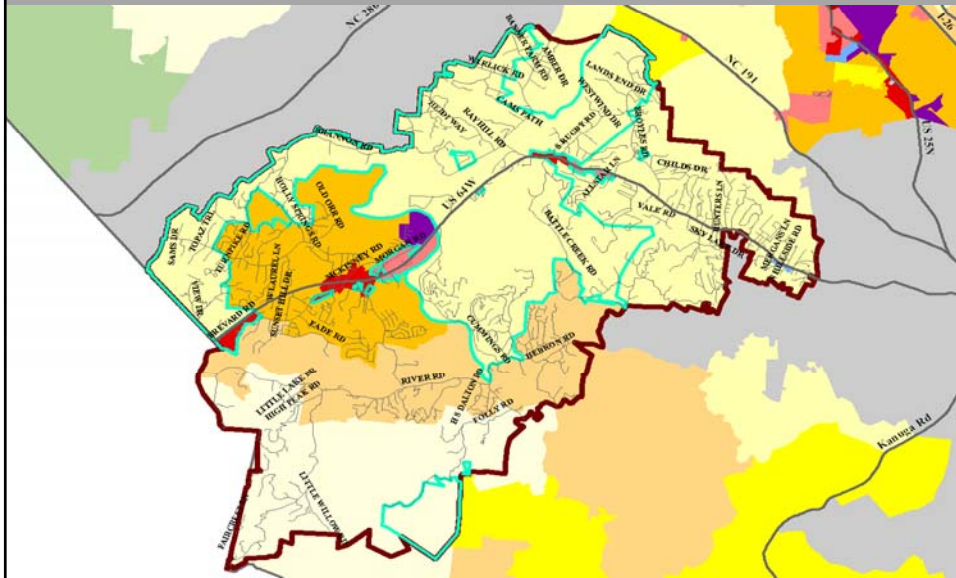


Proposed Zoning for the Etowah Horse Shoe Area



Henderson County Planning Department

Proposed Zoning for the Etowah Horse Shoe Area



Henderson County Planning Department

Questions and Discussion



Henderson County Planning Department