

Henderson County Code Enforcement Services

100 N King St Hendersonville, North Carolina 28792
Phone (828) 697-4857 Fax (828) 697-4535

MEMORANDUM

DATE: June 2, 2010
TO: Technical Review Committee
TRC MEETING DATE: June 15, 2010
REGARDING: Major Site Plan Review
NAME OF APPLICANT: United Community Bank
DEPARTMENT: Code Enforcement Services
STAFF CONTACT: Toby Linville
ATTACHMENTS: Site Plans

Please find attached plans for the following development proposal to be reviewed by the Henderson County Technical Review Committee on June 15, 2010.

Major Site Plan Review

Scott Bolyard with Creative Development Solutions submitted the major site plan for this project for the owner, United Community Bank. They wish to utilize the property for Retail Sales and Service which requires major site plan review per S.R. 7.14.

SR 7.14. Retail Sales and Services Less than or Equal to 50,000 Square Feet (of Gross Floor Area)

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-296 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

The project site is located on 2.46 acres of land (PIN 9529701199) located along Brevard Rd. across from Etowah Center Dr, Etowah. The project is located in a Community Commercial zoning district. The project meets the requirements of the Land Development Code and all the applicable major site plan requirements are met.

If you would like to submit your changes early please use the comment sheet provided and sending it back via email to tlinville@hendersoncountync.org.

Date: June 02, 2010
Owner Name:
Mailing Address:
Situs Address:

PIN: 9529701199
UCB NC PROPERTIES INC ; UCB NORTH CAROLINA PROPERT
PO BOX 398
No Address Found

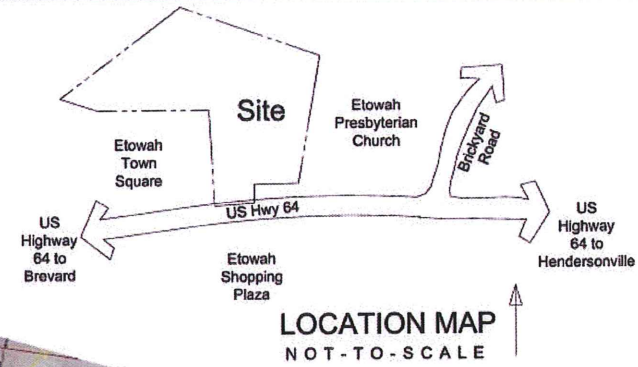
Parcel Number: 1008415



History:	No History Found
Permit:	No Permit Found
Date:	No Date Found
NEW Zoning Districts:	Community Commercial Residential 1
Acreage:	2.4600
Municipality Boundaries:	No City Found
	No Ordinance Found
Water Supply Watersheds:	No Watershed Found
	No Watershed Found
	No Watershed Found
OLD 1982 Flood Zones 03-01-1982:	No Flood Zone Found
	No Flood Zone Found
NEW 2008 Flood Zones 10-02-2008:	Zone X, Not Shaded (Areas outside of the floodplain)
NEW 2008 Floodway 10-02-2008:	
NEW 2008 Flood Panel 10-02-2008:	9529 9528
Protected Ridges:	No
City of Hendersonville Annexation Resolution:	No
Fire Tax Districts:	04 Etowah Horseshoe Fire

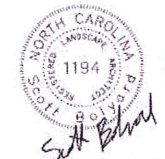
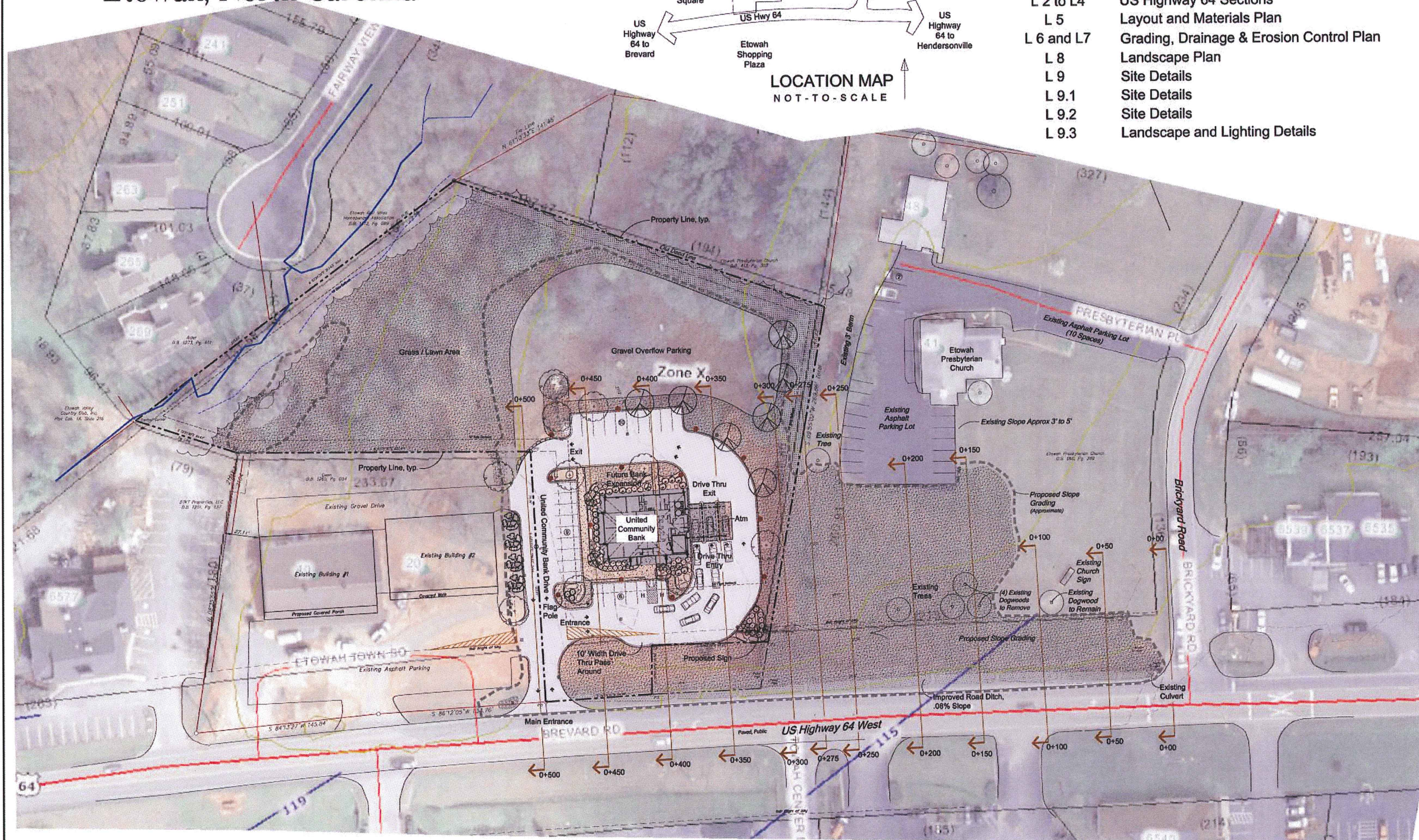
United Community Bank

Etowah, North Carolina



Sheet Index

Sheet No.	Sheet Title
L 1	Overall Master Plan
L 2 to L4	US Highway 64 Sections
L 5	Layout and Materials Plan
L 6 and L7	Grading, Drainage & Erosion Control Plan
L 8	Landscape Plan
L 9	Site Details
L 9.1	Site Details
L 9.2	Site Details
L 9.3	Landscape and Lighting Details



Other Consultants:
 Surveyors: Associated Land Surveys and Design, Inc. Phone: 828-680-2807
 Architects: Chapman, Forehand, Mathison and Moore, P.A. Phone: 828-677-2122

Client:
 UNITED COMMUNITY BANK
 P.O. Box 979
 Brevard, North Carolina, 28712

Project:
 UNITED COMMUNITY BANK
 Etowah, North Carolina Branch

Sheet:
 Overall Site Master Plan

Designed By:
 cds Creative Development Solutions
 1001 Arts Center Way, Hendersonville, NC 28751
 828-680-2807

ISSUE DATE: May 26, 2010
REVISIONS:
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
APPROVED BY: [Signature]

Project Number:
SHEET NUMBER:
 L1

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LAYOUT PLAN LEGEND		
Description	Symbol	Notes / Quantity
CURB AND GUTTER		See Detail 3L9, 1,112 linear feet Shown
SLEEVES (2" PVC Conduits)		See Conduit Notes, 22 Total Shown
PARKING LOT POLE LIGHT		See Lighting Plans by Peter N. Glass and Associates.
GRAVEL PARKING AREA		See Detail 4L9, 19,750 s.f. Shown
CONCRETE SIDEWALK		See Detail 1L9, 1,180 s.f. Shown
ASPHALT PAVING		See Detail 2L9, 22,677 s.f. Shown
ACCESSIBLE RAMP		See Detail 5L9, 2 Total Shown
PAINTING and STRIPING		See Detail 4L9.

Zoning Requirements

Zoning - Community Commercial District
 Setbacks - 35' Front, 10' Rear, 10' Side
 Maximum Height - 50 feet

Maximum Impervious Area - 80%
 Maximum Floor Area - 80,000 s.f.
 Parking Required - 1 space per 500 s.f./ (7) Spaces
 Drive Thru Stacking Required - 100 feet

Project Information

Acreage of Property - 2.55 Acres
 Acreage of Green Space - 1.97 Acres
 Percentage of Property in Greenspace - 77%

Impervious Area - 27,839 s.f. or 25% of Property
 Floor Area - 3,173 s.f., Building Height - 38 feet
 Parking Provided - 25 Spaces
 Drive Thru Stacking Provided - 309 feet

No Existing Slopes on Project Greater than 60%
 Proposed Public Road - United Community Bank Drive - 210 feet
 Water System - Public (US 64 Right of Way)
 Sewer System - Public (25' to Existing Manhole)

Layout Notes

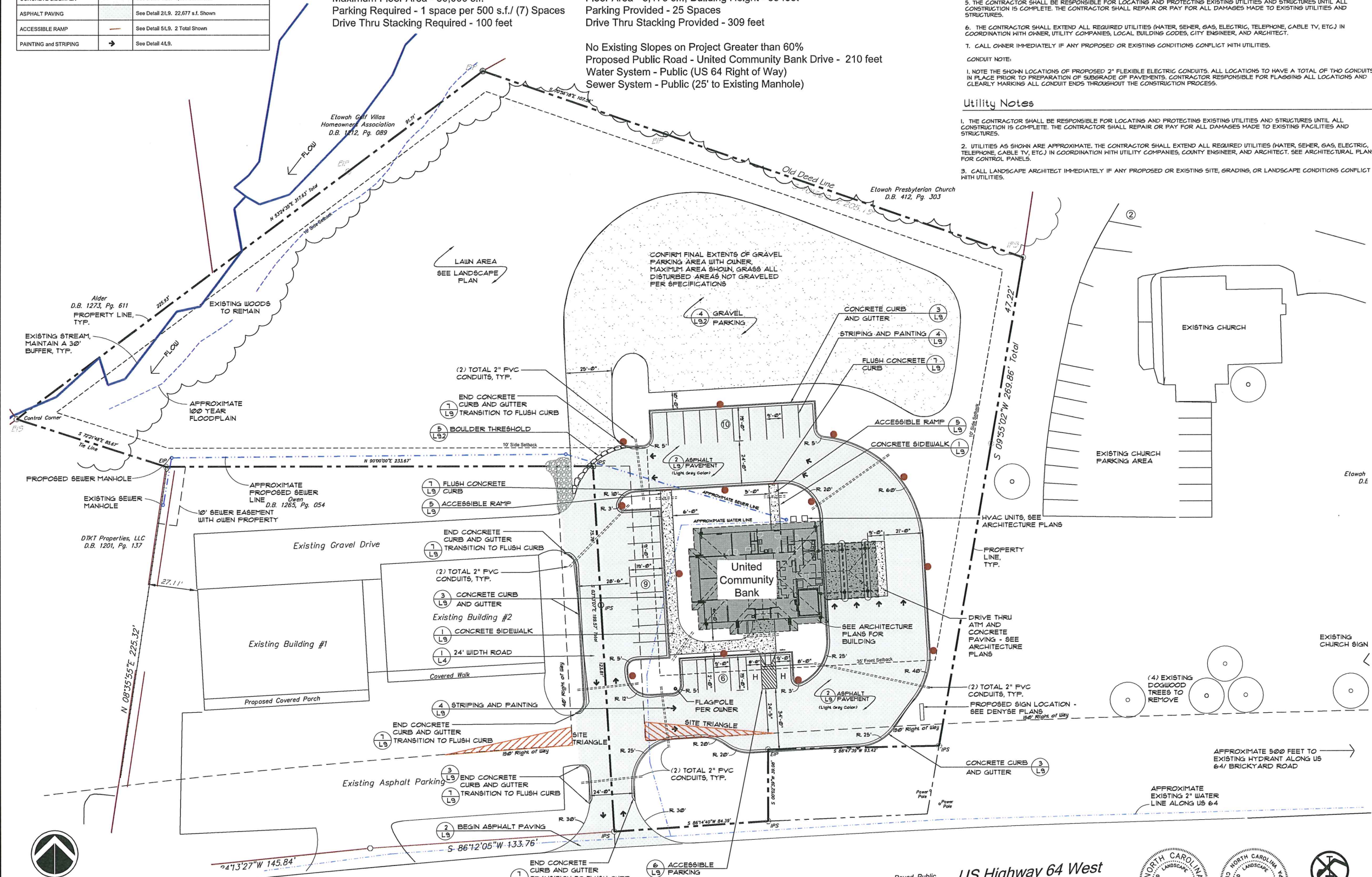
- DO NOT SCALE FROM DRAWING. SURVEYOR TO LAYOUT ALL PROPOSED ELEMENTS IN THE FIELD PRIOR TO CONSTRUCTION AND RECEIVE OWNERS APPROVAL PRIOR TO PROCEEDING.
- CONTACT OWNER IMMEDIATELY IF LAYOUT CONFLICTS OR AMBIGUITIES ARISE.
- SEE ARCHITECTS PLANS FOR LAYOUT AND DETAILS OF BANK BUILDING, PAVEMENT ADJACENT TO ATM, ATM UNIT, AND DRIVE THRU LAYOUT. THIS SITE PLANS IS FOR POSITION PURPOSES ONLY, USE ARCHITECTS PLANS FOR ALL SPECIFICATIONS, DETAILS, LAYOUT AND DIMENSIONS FOR ALL ARCHITECTURAL ELEMENTS.
- COORDINATE FINAL LOCATION, DETAILS AND SPECIFICATIONS FOR THE HVAC UNIT WITH ARCHITECT, CITY ENGINEER, LOCAL BUILDING CODES, AND HVAC CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES AND STRUCTURES UNTIL ALL CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL REPAIR OR PAY FOR ALL DAMAGES MADE TO EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL EXTEND ALL REQUIRED UTILITIES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV, ETC.) IN COORDINATION WITH OWNER, UTILITY COMPANIES, LOCAL BUILDING CODES, CITY ENGINEER, AND ARCHITECT.
- CALL OWNER IMMEDIATELY IF ANY PROPOSED OR EXISTING CONDITIONS CONFLICT WITH UTILITIES.

CONDUIT NOTE:

- NOTE THE SHOWN LOCATIONS OF PROPOSED 2" FLEXIBLE ELECTRIC CONDUITS. ALL LOCATIONS TO HAVE A TOTAL OF TWO CONDUITS IN PLACE PRIOR TO PREPARATION OF SUBGRADE OF PAVEMENTS. CONTRACTOR RESPONSIBLE FOR FLAGGING ALL LOCATIONS AND CLEARLY MARKING ALL CONDUIT ENDS THROUGHOUT THE CONSTRUCTION PROCESS.

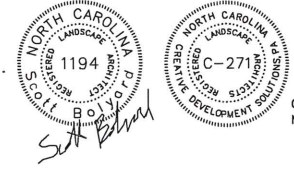
Utility Notes

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES AND STRUCTURES UNTIL ALL CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL REPAIR OR PAY FOR ALL DAMAGES MADE TO EXISTING FACILITIES AND STRUCTURES.
- UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL EXTEND ALL REQUIRED UTILITIES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV, ETC.) IN COORDINATION WITH UTILITY COMPANIES, COUNTY ENGINEER, AND ARCHITECT. SEE ARCHITECTURAL PLANS FOR CONTROL PANELS.
- CALL LANDSCAPE ARCHITECT IMMEDIATELY IF ANY PROPOSED OR EXISTING SITE, GRADINGS, OR LANDSCAPE CONDITIONS CONFLICT WITH UTILITIES.



CALL ULOCO FOR UTILITY LOCATIONS BEFORE ANY DIGGING

Paved, Public **US Highway 64 West**



BEFORE YOU DIG!
 CALL 1-800-632-4949
 N.C. ONE-CALL CENTER
 IT'S THE LAW!

Other Consultants:
 Surveyor: Associated Land Surveys and Planning - Phone: 404-490-0022
 Architects: Communitarian Forward Architects, Inc. - Phone: 404-497-2910

Client:
UNITED COMMUNITY BANK
 P.O. Box 979
 Brevard, North Carolina, 28712

Project:
UNITED COMMUNITY BANK
 Etowah, North Carolina Branch

Sheet:
 Development Plan
 Site Layout and Materials Plan

Designed By:
 Creative Development Solutions, LLC
 1003 401 1/2 Avenue West, Brevard, NC 28712
 P.O. Box 979, Brevard, NC 28712
 P.L.L.C. # 9977, J.T. 825.676.1954

ISSUE DATE: Mar. 20, 2014
 REVISIONS:
 DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 APPROVED BY: [Signature]

Project Number:
 SHEET NUMBER:
L5

Grading Notes

- EXISTING TOPOGRAPHY AND BASE INFORMATION PROVIDED BY ASSOCIATED LAND SURVEYORS AND PLANNERS.
- ALL PROPOSED CONTOURS AND ELEVATIONS REPRESENT FINISHED GRADES, THE PROPOSED ELEVATIONS SHOWN FOR PAVEMENTS AND HARDSCAPE MATERIALS ARE TO FINISHED ELEVATIONS, REFER TO DETAILS AND SPECIFICATIONS FOR REQUIRED DEPTHS FOR BASE, AGGREGATES, AND FINAL MATERIALS.
- ALL ELEVATION IN REFERENCE TO PROVIDED SURVEY BASE INFORMATION.
- THE CONTRACTOR SHALL REPORT TO THE OWNER IMMEDIATELY ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND PROPOSED CONSTRUCTION DOCUMENTS, AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- GRADING CONTRACTOR SHALL MEET WITH LANDSCAPE ARCHITECT OR OWNER ON-SITE TO REVIEW CLEARINGS, DEMOLITION AND GRADING PRIOR TO STARTING WORK.
- CONTRACTOR RESPONSIBLE FOR, AND TO VERIFY ALL EXISTING UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
- EXCAVATION LIKELY TO DISLOCATE, DAMAGE, OR IMPAIR THE STRENGTH OF OTHER STRUCTURES ALREADY IN PLACE, SHALL BE DONE ONLY AFTER ADEQUATE PROTECTION HAS BEEN PROVIDED FOR THE IN-PLACE STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO ANY STRUCTURES DAMAGED BY HIS ACTIVITIES.
- ALL FILL MATERIAL TO BE COMPACTED TO 95% A.A.S.H.T.O. STANDARD COMPACTION.
- ALL PROPOSED STORM DRAIN LINES SHALL HAVE A MIN. OF 12" COVER.
- ALL UNSUITABLE MATERIAL REMAINING FROM PROJECT EXCAVATION SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- EXCESS EXCAVATED MATERIAL THAT IS SUITABLE, AS DETERMINED BY THE GEOTECHNICAL ENGINEER MAY BE USED ON SITE AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE FINISHED GRADES AS SHOWN ON THE PLAN WITHIN A 1/2" TOLERANCE.
- MATCH EXISTING GRADES SMOOTHLY WHERE PROPOSED FEATURES MEET EXISTING FEATURES.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, STRUCTURES, WALKS, PAVEMENTS, AND LANDSCAPE AREAS SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW TOWARDS NEAR EXISTING STORM DRAINS, DRAINAGE SHALES, OR OFF-SITE.
- ALL CUT & FILL SLOPES GREATER THAN 2:1 SHALL BE CERTIFIED BY A REGISTERED GEO-TECHNICAL ENGINEER PRIOR TO AND DURING CONSTRUCTION.
- GUTTER DOWNSPOUTS ARE NOT SHOWN ON THIS PLAN, CONTRACTOR IS RESPONSIBLE TO TIE ALL GUTTER DOWNSPOUTS INTO PROPOSED LANDSCAPE DRAIN BASINS TO ACCOMMODATE ALL ROOF DRAINAGE.

Construction Sequence

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG THE WORK LIMITS AND MARK THE TREES TO BE REMOVED OR REMAIN.
- HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES, TEMPORARY SILT TRAPS, TEMPORARY SILT FENCE, TEMPORARY ROCK CHECK DAMS AND OTHER RELATED EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN SHEETS. CONTRACTOR TO CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- UPON INSTALLATION OF TEMPORARY EROSION CONTROL MEASURES, REQUEST ON-SITE INSPECTION AND APPROVAL BY HENDERSON COUNTY.
- CLEAR AND GRUB SITE.
- BEGIN ROUGH GRADING OF SITE.
- TEMPORARY SEEDINGS SHALL BE INSTALLED ON ALL SLOPES THAT ARE TO REMAIN UNDISTURBED FOR MORE THAN 21 DAYS.
- INSTALL CULVERTS, DRAIN INLETS, INLET PROTECTION, AND OUTLET PROTECTION AS GRADING PERMITS.
- INSTALL STONE BASE FOR PAVEMENTS AS GRADING PERMITS.
- BEGIN TEMPORARY/PERMANENT SEEDINGS ON ALL FINISHED GRADED SLOPES.
- BEGIN FINE GRADING OF GROUNDS.
- UPON COMPLETION OF FINE GRADING, INSTALL PERMANENT VEGETATIVE COVER.
- UPON COMPLETION OF ROAD OR BUILDING CONSTRUCTION AND STABILIZATION OF SITE, REMOVE ALL TEMPORARY MEASURES AND COMPLETE PERMANENT VEGETATIVE COVER.

NOTES:

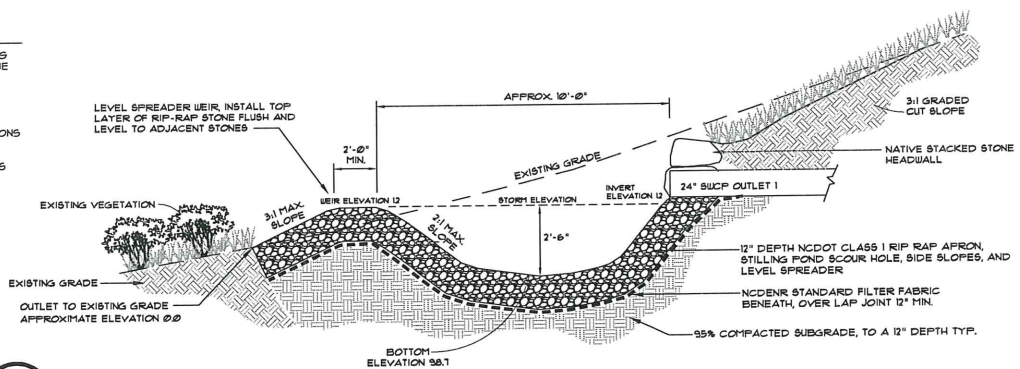
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL OF OFF-SITE BORROW PITS AND DISPOSAL AREAS UNLESS RELEASED IN WRITING BY PROPERTY OWNER.
- WATER SITE TO CONTROL DUST DURING PERIODS OF DRY HEATHER.

Erosion Control Notes

- EROSION CONTROL MEASURES ARE GENERAL IN NATURE, CONTRACTOR IS RESPONSIBLE FOR ADDITIONAL MEASURES AS REQUIRED TO PREVENT ON OR OFF SITE RUNOFF AND EROSION.
- ALL INLETS TO HAVE TEMPORARY INLET PROTECTION INSTALLED IMMEDIATELY AFTER INLET HAS BEEN CONSTRUCTED. SEE DETAIL.
- CONTRACTOR IS RESPONSIBLE FOR WEEKLY INSPECTION OF ALL EROSION AND SEDIMENT CONTROL PRACTICES AND AFTER ALL RAINFALL EVENTS, NEEDED REPAIRS ARE TO BE COMPLETED IMMEDIATELY. MAINTAIN SEDIMENT FENCE BY CLEARING OUT WHEN HALF FULL.
- REMOVE ALL TEMPORARY EROSION CONTROLS AFTER DISTURBED AREAS HAVE BEEN STABILIZED AND COMPLETED.
- ANY ADDITIONAL CLEARINGS OR GRADINGS REQUIRED FOR STOCKPILES WILL BE COORDINATED IN THE FIELD WITH THE EROSION CONTROL OFFICER WHO WILL DETERMINE APPROPRIATE EROSION CONTROL MEASURES FOR SAME.
- THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN IS THE MAXIMUM AREA TO BE CLEARED, THE SURVEYOR OR OWNER SHALL DETERMINE ACTUAL REQUIRED CLEARING LIMITS.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDINGS IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DISTURBED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. ALL GRADED SLOPES MUST BE SEED AND MULCHED WITHIN 21 DAYS. SEE SEEDING SCHEDULE.
- IN AREAS ADJACENT TO STREAM AND PROPOSED OR EXISTING DRAINAGE, A DOUBLE ROW OR REINFORCED SILT FENCE MAY BE REQUIRED AS PER DIRECTION OF OWNER, CREATIVE DEVELOPMENT SOLUTIONS AND/OR LOCAL EROSION CONTROL OFFICER.
- ANY LAND-DISTURBING ACTIVITY > 1 ACRES REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM. ANY PERMIT NON-COMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT ACTION BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH, AND NATURAL RESOURCES. (FOR QUESTIONS CONTACT ASHEVILLE REGIONAL OFFICE WATER QUALITY STAFF AT (828-246-4500)
- SEED ALL PROPOSED CHANNELS AS SOON AS THE CHANNELS HAVE BEEN CUT AND CHANNEL LINER INSTALLED.
- ALL GRADINGS MUST BE AT LEAST 30" OFF TOP OF BANK OF JURISDICTIONAL STREAMS AS SHOWN
- CURB AND GUTTER SHOWN ON THE PLANS MAY BE ADJUSTED, BASED UPON FIELD STAKING, BY OWNER ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- SLOPES SHOWN ON THE STORM DRAINAGE PLAN ARE FOR CONTRACTOR'S REFERENCE ONLY, CONTRACTOR TO BUILD STORM DRAINAGE SYSTEM TO THE ELEVATIONS SHOWN ON THE SCHEDULE, FIELD LOCATE, MEASURE, AND FIT ALL STORM DRAINS AND PIPES TO ACTUAL FIELD CONDITIONS.

Erosion Control Maintenance Plan:

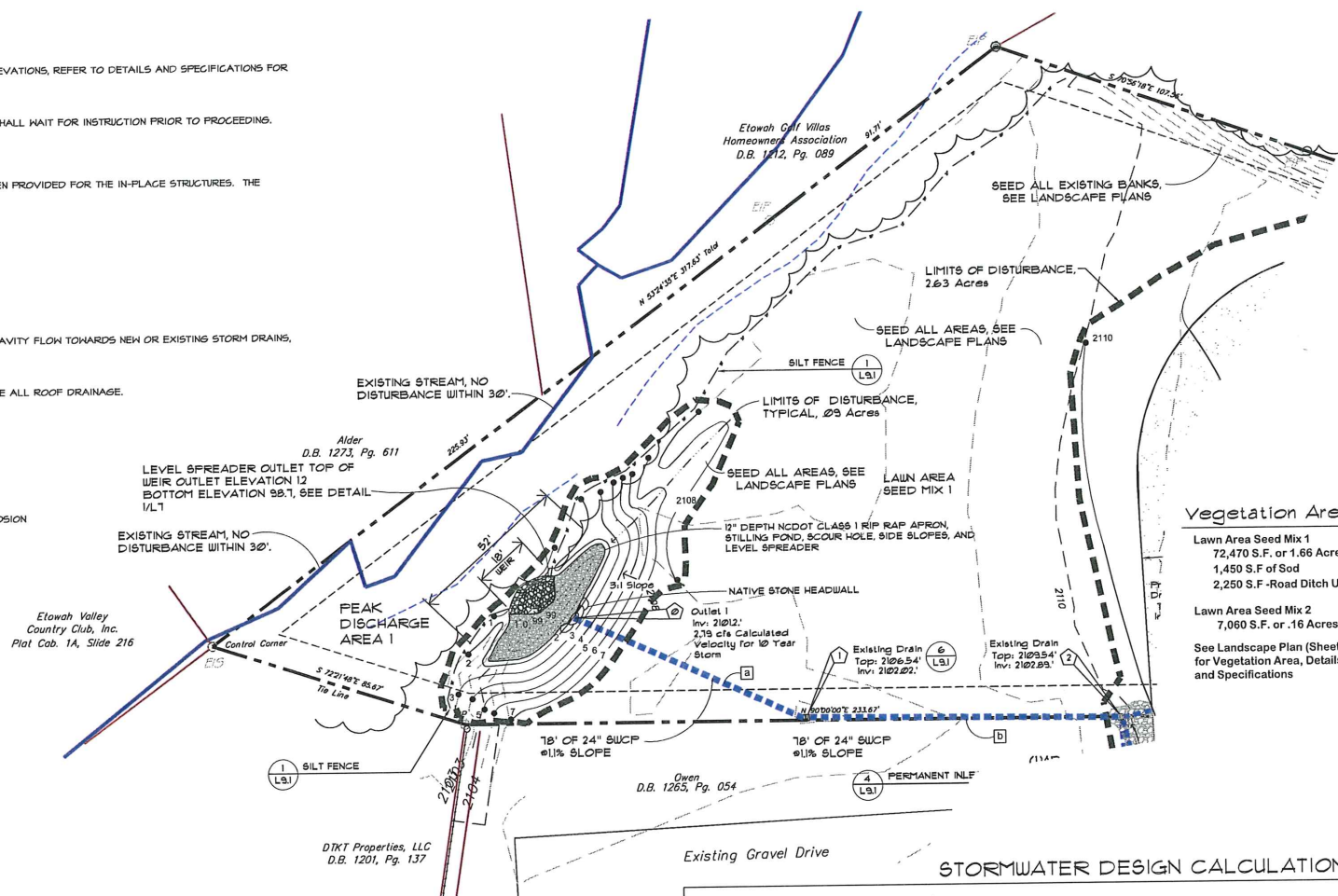
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY, AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK, ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE SEEDING NOTES TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL OF OFF-SITE BORROW PITS AND DISPOSAL AREAS UNLESS RELEASED IN WRITING BY PROPERTY OWNER.
- WATER SITE TO CONTROL DUST DURING PERIODS OF DRY HEATHER.
- ALL EROSION CONTROL MAINTENANCE IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR.



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N.C. ONE-CALL CENTER
IT'S THE LAW!



LEVEL SPREADER INFILTRATION BASIN
SCALE: N.T.S.



Vegetation Areas

- Lawn Area Seed Mix 1
72,470 S.F. or 1.66 Acres
1,450 S.F. of Sod
2,250 S.F. Road Ditch US 64
- Lawn Area Seed Mix 2
7,060 S.F. or .16 Acres
- See Landscape Plan (Sheet L8) for Vegetation Area, Details, and Specifications

STORMWATER DESIGN CALCULATIONS

Project: United Community Bank Etowah		Design																Profile	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16.0	17	18	19	
Location From / To	Surf.	Drain Area (Ac)	C% %	Total Runoff (CA)	TOC	Rain (in)	Q=CA	Total Q	Pipe Size	n	Slope	Velocity (ft/sec)	Capacity of Line (CFS)	Fall in Pipe	Length of Flow	top	Upper Invert	Lower Invert	
1 to Out	lawn	0.25	0.45	0.11	1	7.67	0.88	11.30	24	.013	0.011	2.709	23.13	0.82	78.0	6.54	2.02	1.20	
2 to 1	grd	0.05	0.90	0.05	1	7.67	0.35	10.44	24	.013	0.009	1.816	21.15	0.87	99.0	9.54	2.89	2.02	
3 to 2	asph	0.21	0.90	0.19	1	7.67	1.45	5.07	24	.013	0.009	3.162	21.70	1.37	148.0	8.06	4.26	2.89	
4 to 3	asph	0.09	0.95	0.09	1	7.67	0.66	2.04	18	.013	0.011	2.479	10.98	0.44	40.0	8.00	4.70	4.26	
5 to 4	asph	0.20	0.90	0.18	1	7.67	1.38	1.38	18	.013	0.008	2.907	9.06	0.30	40.0	7.50	5.00	4.70	
6 to 3	asph	0.04	0.95	0.04	1	7.67	0.29	1.58	12	.013	0.023	2.302	5.37	1.24	54.0	10.30	5.50	4.26	
7 to 6	asph	0.12	0.95	0.11	1	7.67	0.87	1.29	12	.013	0.020	3.346	5.06	2.30	113.0	11.00	7.80	5.50	
8 to 7	lawn	0.12	0.45	0.05	1	7.67	0.41	0.41	12	.013	0.020	2.515	5.01	0.40	20.0	11.20	8.20	7.80	
9 to 2	asph	0.09	0.95	0.09	1	7.67	0.66	1.09	12	.013	0.109	5.072	11.69	2.61	24.0	9.60	5.50	2.89	
10 to 9	asph	0.06	0.95	0.06	1	7.67	0.44	0.44	12	.013	0.014	2.29	4.18	1.00	72.0	9.50	6.50	5.50	
11 to 2	asph	0.04	0.95	0.04	1	7.67	0.29	3.93	18	.013	0.047	2.877	22.66	2.11	45.0	111.00	5.00	2.89	
12 to 11	asph	0.05	0.95	0.05	1	7.67	0.36	3.08	18	.013	0.020	2.397	14.80	1.00	50.0	11.00	6.00	5.00	
13 to 12	ln/gr	0.24	0.55	0.13	1	7.67	1.01	1.01	12	.013	0.087	5.566	10.45	2.00	23.0	11.00	8.00	6.00	
14 to 12	asph	0.08	0.95	0.08	1	7.67	0.58	1.68	12	.013	0.030	3.255	6.17	2.00	66.0	11.00	8.00	6.00	
15 to 14	ln/gr	0.26	0.55	0.14	1	7.67	1.10	1.10	12	.013	0.050	4.825	7.93	0.10	2.0	11.50	8.10	8.00	
16 to 11	roof	0.02	0.95	0.02	1	7.67	0.15	0.58	12	.013	0.083	2.655	10.23	3.50	42.0	11.80	8.50	5.00	
17 to 16	roof	0.02	0.95	0.02	1	7.67	0.15	0.15	8	.013	0.026	1.842	1.93	1.50	58.0	12.70	10.00	8.50	
18 to 16	roof	0.02	0.95	0.02	1	7.67	0.15	0.29	8	.013	0.021	1.725	1.74	1.30	62.0	11.80	9.80	8.50	
19 to 18	roof	0.02	0.95	0.02	1	7.67	0.15	0.15	8	.013	0.015	1.551	1.47	1.00	67.0	12.80	10.80	9.80	

PEAK DISCHARGE DESIGN CALCULATIONS

Project: United Community Bank Etowah - Existing Discharge Conditions											Project: United Community Bank Etowah - After Proposed Development Discharge Conditions										
1	2	3	4	5	6	7	8	9	10	11	1	2	3	4	5	6	7	8	9	10	11
Drainage Area	Surf./ Acres	Surf./ Acres	Surf./ Acres	Surf./ Acres	Total 100% CA	Time of Concentration (min)	Rain (in)	Q=CA (CFS)	n	Slope	Drainage Area	Surf./ Acres	Surf./ Acres	Surf./ Acres	Surf./ Acres	Total 100% CA	Time of Concentration (min)	Rain (in)	Q=CA (CFS)	n	Slope
1 (2.33 Acres)	Woods 3 Acres	Gravel 1.88 Acres	Grass 0.5 Acres	Disturbed 0.5 Acres	1.15	3.0	7.19	8.27			1 (3.77 Acres)	Woods 3 Acres	Gravel 1.88 Acres	Grass 0.5 Acres	Disturbed 0.5 Acres	2.05	3.0	7.19	14.73		
2 (3.95 Acres)	Roads 7 Acres	Grass 1.4 Acres	Disturbed 0.5 Acres	Roof 0.5 Acres	2.32	4.0	6.97	16.17			2 (5.58 Acres)	Grass 1.4 Acres	Disturbed 0.5 Acres	Roof 0.5 Acres	Roof 3.18 Acres	1.81	3.0	7.19	11.87		

DITCH AND OUTLET DESIGN CALCULATIONS

PROJECT: United Community Bank Ditch/Outlet Calculations -After Construction																		
Discharge Area	Total Area	C% %	TOC	Rain (in)	Design Q=CA (CFS)	Slope	Bottom Width (ft)	side slopes (H:V)	Ch. invert (ft)	n	Velocity (ft/sec)	Area (sq. ft)	Hyd. Rad. (ft)	Permissible Q (CFS)	Material sample pattern	Permissible shear stress (psf)	Calculated shear stress (psf)	Remarks
1	3.77	0.54	3	7.19	14.73	0.01	3	2	2.5	0.7	2.68	20.00	1.41	53.55	n=0.3	3.00	1.59	Stable
2	2.58	0.63	3	7.19	11.57	0.01	4	5	1	0.36	3.05	9.00	0.63	27.48	C125/D	2.25	0.62	Stable

Other Consultants:
Surveyor: Associated Land Surveys and Planners - Etowah, NC
Architect: Cunningham, Forbush, Matthews, and Moore - Phone: 828-295-8212

Client: UNITED COMMUNITY BANK
P.O. Box 979
Brevard, North Carolina, 28712

Project: UNITED COMMUNITY BANK
Etowah, North Carolina Branch

Sheet: Development Plan
Grading, Drainage, & Erosion Control Plan

Designed by: Creative Developments Solutions
1001 Mt. Airy Road, Suite 100, Mt. Airy, NC 27030
1001 Mt. Airy Road, Suite 100, Mt. Airy, NC 27030

DATE: 05/20/2010

REVISIONS:
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
APPROVED BY: [Signature]

SHEET NUMBER: L7

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Accessibility Notes

1. CONTRACTOR TO INSURE THAT NO ACCESSIBLE WALKWAY IS GREATER THAN 5% IN SLOPE AND 2% CROSS SLOPE. IN AREAS WHERE RAMPINGS ARE DEPICTED FOR ACCESSIBLE WALKWAYS THE SLOPE SHALL NOT EXCEED 4.33% IN SLOPE AND 2% IN CROSS SLOPE. ALL ACCESSIBLE WALKWAYS EXCEEDING 5% IN SLOPE SHALL HAVE LANDINGS AS SHOWN ON THE PLANS AT A MINIMUM OF 30'-0" IN LENGTH OR 30" OF VERTICAL GRADE CHANGE. ALL ACCESSIBLE WALKWAYS EXCEEDING 5% SHALL HAVE ACCESSIBLE HANDRAILS ON BOTH SIDES OF WALKWAY.

2. ACCESSIBLE PARKING SPACES AND ALL AISLE WAYS ADJACENT TO ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN SLOPE OR 2% IN CROSS SLOPE.

Erosion Control Information

Total Limits of Disturbance - 2.72 Acres (Calculated with CADD, Area Computation)

Contact Person Responsible for Erosion Control Maintenance - Clark and Leatherwood

Existing Project Soils - Compacted Clay Loam

Existing Project Soils Below Storm Outlet - Woodland Loam

Stormwater Receiving Course - Small Unnamed Tributary to Gash Creek, Class C Water

Landscape and Vegetation Stabilization

Total Limits of Disturbance - 2.72 Acres

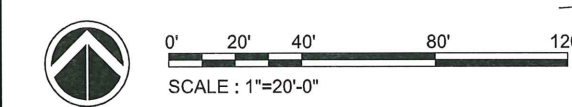
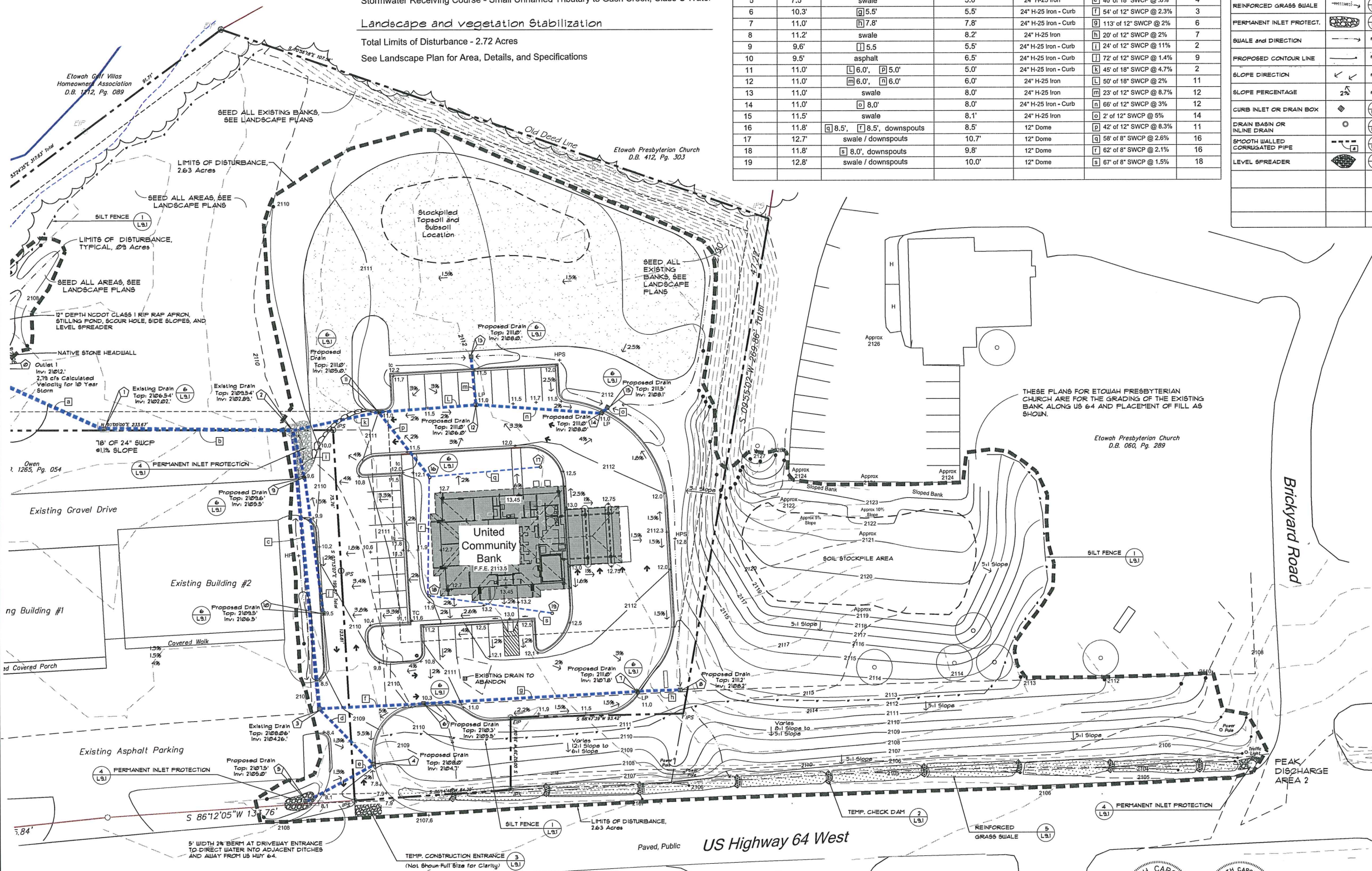
See Landscape Plan for Area, Details, and Specifications

Storm Drainage Schedule

Origin Structure	Rim Elevation	Invert In Elevation	Invert Out Elevation	Grate Type	Pipe Number Size, Length, Slope	To Structure
1(Existing)	6.54'	2.02'	2.02'	Existing Iron	A 78" of 24" SWCP @ 1.1%	Outlet
2(Existing)	9.54'	4.26', 5.0'	2.89'	Existing Iron	B 99" of 24" SWCP @ .9%	1
3(Existing)	8.06'	4.26', 4.26'	4.26'	Existing Iron	C 148" of 24" SWCP @ .9%	2
4	8.0'	4.7'	4.7'	24" H-25 Iron - Curb	D 40" of 18" SWCP @ 1.1%	3
5	7.5'	5.0'	5.0'	24" H-25 Iron	E 40" of 18" SWCP @ .8%	4
6	10.3'	5.5'	5.5'	24" H-25 Iron - Curb	F 54" of 12" SWCP @ 2.3%	3
7	11.0'	7.8'	7.8'	24" H-25 Iron - Curb	G 113" of 12" SWCP @ 2%	6
8	11.2'	swale	8.2'	24" H-25 Iron	H 20" of 12" SWCP @ 2%	7
9	9.6'	5.5	5.5'	24" H-25 Iron - Curb	I 24" of 12" SWCP @ 11%	2
10	9.5'	asphalt	6.5'	24" H-25 Iron - Curb	J 72" of 12" SWCP @ 1.4%	9
11	11.0'	6.0', 5.0'	5.0'	24" H-25 Iron - Curb	K 45" of 18" SWCP @ 4.7%	2
12	11.0'	6.0', 6.0'	6.0'	24" H-25 Iron	L 50" of 18" SWCP @ 2%	11
13	11.0'	swale	8.0'	24" H-25 Iron	M 23" of 12" SWCP @ 8.7%	12
14	11.0'	8.0'	8.0'	24" H-25 Iron - Curb	N 66" of 12" SWCP @ 3%	12
15	11.5'	swale	8.1'	24" H-25 Iron	O 2" of 12" SWCP @ 9%	14
16	11.8'	8.5', 8.5', downspouts	8.5'	12" Dome	P 42" of 12" SWCP @ 8.3%	11
17	12.7'	swale / downspouts	10.7'	12" Dome	Q 58" of 8" SWCP @ 2.6%	16
18	11.8'	8.0', downspouts	9.8'	12" Dome	R 62" of 8" SWCP @ 2.1%	16
19	12.8'	swale / downspouts	10.0'	12" Dome	S 67" of 8" SWCP @ 1.5%	18

SYMBOLS LEGEND

CONSTRUCTION ENTRANCE		(1)
INLET PROTECTION		(1)
SILT FENCE		(1)
TEMPORARY CHECK DAM		(2)
REINFORCED GRASS SWALE		(3)
PERMANENT INLET PROTECT.		(4)
SWALE and DIRECTION		n/a
PROPOSED CONTOUR LINE		n/a
SLOPE DIRECTION		n/a
SLOPE PERCENTAGE		n/a
CURB INLET OR DRAIN BOX		(1)
DRAIN BASIN OR INLINE DRAIN		(2)
SMOOTH WALLED CORRUGATED PIPE		(3)
LEVEL SPREADER		(1)



Other Consultants:
 Surveyor: Associated Land Services and Planning - Thomas Johnson, D.P.L.S.
 Architect: Cunningham, Forthman, Matthews, and Moore - Phyllis Moore, AIA, D.P.L.S.

Client:
 UNITED COMMUNITY BANK
 P.O. Box 979
 Brevard, North Carolina, 28712

Project:
 UNITED COMMUNITY BANK
 Etowah, North Carolina Branch

Sheet:
 Development Plan
 Grading, Drainage, & Erosion Control Plan

Designed By:
 Creative Development Solutions
 5010 S. UNIVERSITY AVENUE
 SUITE 100, BREVARD, NORTH CAROLINA 28712
 P: 828.438.9333 | F: 828.438.9331

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		

APPROVED BY:

Project Number:

SHEET NUMBER:
 L6

BEFORE YOU DIG I CALL 1-800-632-4949 N.C. ONE-CALL CENTER IT'S THE LAW!

SEALS:
 NORTH CAROLINA ENGINEER: 1194
 NORTH CAROLINA LANDSCAPE ARCHITECT: C-271

Description	Symbol
PIPE / CULVERT	*****
SLEEVES (2" 2" PVC Conduits)	*****
PARKING LOT POLE LIGHT	●

LIGHTING NOTES:
1. Final lighting plans by Peter N. Glass and Associates.

Landscape Notes (NOTE: SEE LANDSCAPE DETAILS SHEET L3.3)

- ALL AREAS SHOWN AS LARGE SHADE TREES, SMALL FLOWERING TREES, AND SHRUB AND PERENNIAL LANDSCAPING ON THE LANDSCAPE PLAN IS TO BE MULCHED AND SHALL RECEIVE A 3" DEPTH OF DOUBLE GROUND PINE OR SOFTWOOD MULCH.
- CONTRACTOR SHALL VERIFY QUANTITIES ON THE PLAN AND IS RESPONSIBLE FOR ALL PLANTS AS SHOWN ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL GUARANTEE ALL PLANTINGS FOR ONE YEAR FROM COMPLETION OF WORK. REPLACEMENT PLANTS AND LABOR SHALL BE PROVIDED AT CONTRACTOR'S EXPENSE.
- PRUNE ONLY AS DIRECTED BY LANDSCAPE ARCHITECT. PLANTS SHALL NOT HAVE A SHEARED APPEARANCE AND MUST MEET MINIMUM SIZES AS INDICATED ON THE PLANT LIST.
- ALL PLANT MATERIAL IS TO CONFORM TO THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK. SEE PLANT LIST FOR SPECIFICATIONS AND SIZES. (NOTE: SIZE TO BE DBH)
- LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, ESPECIALLY DUE TO UNDERSIZED OR DAMAGED MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND IDENTIFICATION OF ALL UTILITIES. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S COST.
- ALL DEMOLISHED MATERIALS AND TRASH ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. HARDSCAPE AREAS ARE TO BE PRESSURE WASHED TO ACHIEVE A CLEAN FINISHED APPEARANCE.
- ALL PLANTING BEDS ARE TO BE CLEANED OF ROCKS AND DEBRIS 1" TILLED TO 12" DEPTH AND AMENDED WITH 3" OF NATURES HELPER AND 3" OF ORGANIC COMPOST (OR APPROVED EQUAL), THEN THOROUGHLY TILLED TOGETHER.
- ANY REMAINING DISTURBED, NON-PLANTING AREAS NOT INDICATED AS LAWN AREAS, ARE TO BE FINE GRADED AND SEEDED PER LAWN SEEDING SPECIFICATIONS.
- PRIOR TO INSTALLATION, CONTRACTOR SHALL REVIEW PLANT AND LIGHT LOCATIONS WITH LANDSCAPE ARCHITECT TO ELIMINATE CONFLICTS.
- ALL EXISTING AND PROPOSED TREES NOT CONTAINED WITHIN A MULCHED BED ARE TO RECEIVE A 3" DEPTH OF A 6" DIAMETER CIRCLE OF ABOVE SPECIFIED MULCH AROUND EACH TREE.
- REPORT ANY POORLY DRAINED SOILS OR ANY DRAINAGE PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO REPORT SUCH CONDITIONS WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR CORRECTING THE PROBLEM AND REPLACING DAMAGED OR LOST PLANTS.
- LAWN AREAS ARE TO BE FREE OF DEBRIS AND ROCKS 1" PRIOR TO LAYING SOIL OR APPLYING SEED.
- LANDSCAPE ARCHITECT TO FIELD APPROVE THE PLACEMENT OF ALL PLANT MATERIALS.
- LAWN AREAS TO BE SODDING SHALL BE TILLED TO A 6" DEPTH (EXCEPT WITHIN THE DRIP LINE OF EXISTING TREES TO REMAIN). SPREAD FERTILIZER OVER THE TILLED AREA (20-10-10) AT 5 LBS. PER 1000 SF. SPREAD LIME OVER TILLED AREA AT 10 LBS. PER 1000 SF. WORK FERTILIZER AND LIME INTO TOP 2" OF SOIL.

Legend Key

	Large Deciduous Trees
	Small Deciduous Trees
	Deciduous
	Grasses and Flowers
	Lawn Area Seed Mix 1 72,470 S.F. or 1.66 Acres 6,865 S.F. or .15 Acres (Pad Below Existing Church Parking) 1,450 S.F. of Sod (Directly around Building) 2,250 S.F. (Ditchline Along US 64)
	Lawn Area Seed Mix 2 7,060 S.F. or .16 Acres

Trees and Shrub Plant List

Key	Qty.	Botanical Name	Common Name	Specifications
Trees	AR	<i>Acer rub. 'October Glory'</i>	Red Maple	2" Caliper, B&B, Straight
	LH	<i>Lagerstroemia indica</i>	Crape Myrtle	8' height B&B, Multi-stemmed
	LT	<i>Liriodendron tulipifera</i>	Tulip Poplar	2" Caliper, B&B, Straight
	MS	<i>Menispermata glycyrrhizoides</i>	Dawn Redwood	2" Caliper, B&B, Straight
	HV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	8' height B&B, Multi-stemmed
	QP	<i>Quercus phellos</i>	Willow Oak	2" Caliper, B&B, Straight
Evergreen	IG	<i>Ilex glabra</i>	Inkberry Holly	24" ht, 3 gallon cont., Full Plant
Shrubs	FJ	<i>Fieris japonica 'Mountain Fire'</i>	Mountain Fire Pieris	24" ht, 3 gallon cont., Full Plant
	FLO	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken Cherry Laurel	24" ht, 3 gallon cont., Full Plant
	RC	<i>Rhododendron 'Roseum Elegans'</i>	Roseum Elegans Rhodo	24" ht, 3 gallon cont., Full Plant
Deciduous	FG	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	18" Height, 3 gallon, Full Plant
Shrubs	SP	<i>Spiraea japonica 'Little Princess'</i>	Little Princess Spiraea	18" Height, 3 gallon, Full Plant
	RK	<i>Rosa 'Knockout'</i>	Knockout Shrub Rose	24" Height, 3 gallon, Full Plant
Ornamental	FR	<i>Calamagrostis acutifloris stricta</i>	Feather Reed Grass	1 gallon container, Full Plant
Grass				
Perennials	CS	<i>Chrysanthemum x Superbum 'Alaska'</i>	Alaska Shasta Daisy	1 gallon container, Full Plant
	CV	<i>Coreopsis verticillata</i>	Tweedhead Coreopsis	1 gallon container, Full Plant
	EPF	<i>Echinacea purpurea 'Bright Star'</i>	Purple Coneflower	1 gallon container, Full Plant
	IS	<i>Iris spicata 'Cassara Brother'</i>	Purple Iris	1 gallon container, Full Plant
	HS	<i>Hosta sieboldiana</i>	Siebold Hosta	1 gallon container, Full Plant
	RF	<i>Rudbeckia fulgida 'Goldstrum'</i>	Black-eyed Susan	1 gallon container, Full Plant
	SEA	<i>Sedum 'Autumn Joy'</i>	Autumn Joy Sedum	1 gallon container, Full Plant
	VS	<i>Veronica spicata 'Goodness Gracious'</i>	Speedwell	1 gallon container, Full Plant
Groundcover	VH	<i>Vinca minor</i>	Periwinkle	1 pint container, Full Plant

Seeding Notes Seed Mix 1 and 2

- GRADING CONTRACTOR IS RESPONSIBLE FOR SEEDING ALL DISTURBED AREAS OF THE PROJECT.
- LOOSEN COMPACTED SUBGRADE AND UNCHANGED SUBGRADE TO A MINIMUM DEPTH OF 4" WITH EQUIPMENT APPROVED BY LANDSCAPE ARCHITECT. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEANOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. RAKE OR OTHERWISE LIGHTLY SCARIFY SOIL SURFACE TO ENSURE SEED-TO-SOIL CONTACT. AREAS TO BE SEEDED SHALL BE RIPPED AND SPREAD WITH AVAILABLE TOPSOIL 3" DEEP. TOTAL SEEDED PREPARED DEPTH SHALL BE 4" TO 6" DEEP. SURFACE FOR FINAL SEEDED PREPARATION, AT FINISH GRADES SHOWN, SHALL BE REASONABLY SMOOTH AND UNIFORM.
- APPLY SEED BY HYDRO-SEEDING WHERE POSSIBLE. ALLOW SEED APPLICATION TO DRY PRIOR TO MULCH APPLICATION TO PREVENT RUN-OFF.
- SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLAN. IF NO SOIL TEST IS TAKEN, FERTILIZE AND LIME ACCORDING TO SEEDING SCHEDULE BELOW. IF SOIL TEST IS TAKEN PROVIDE LIME AND FERTILIZER ACCORDING TO SOIL TEST REPORT. LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDED PREPARATION.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, USDA, # U.S. SC5.

Landscape Zoning Requirements

- Parking Trees Required - 5 (25 parking Spaces)
- Parking Trees Proposed - 9
- Parking Trees Required in Islands - 2
- Parking Trees Provided in Islands - 8
- Street Trees Required - 8 (1 per 50' road)
- Street Trees Provided - 9

Lawn Seed Mix 1

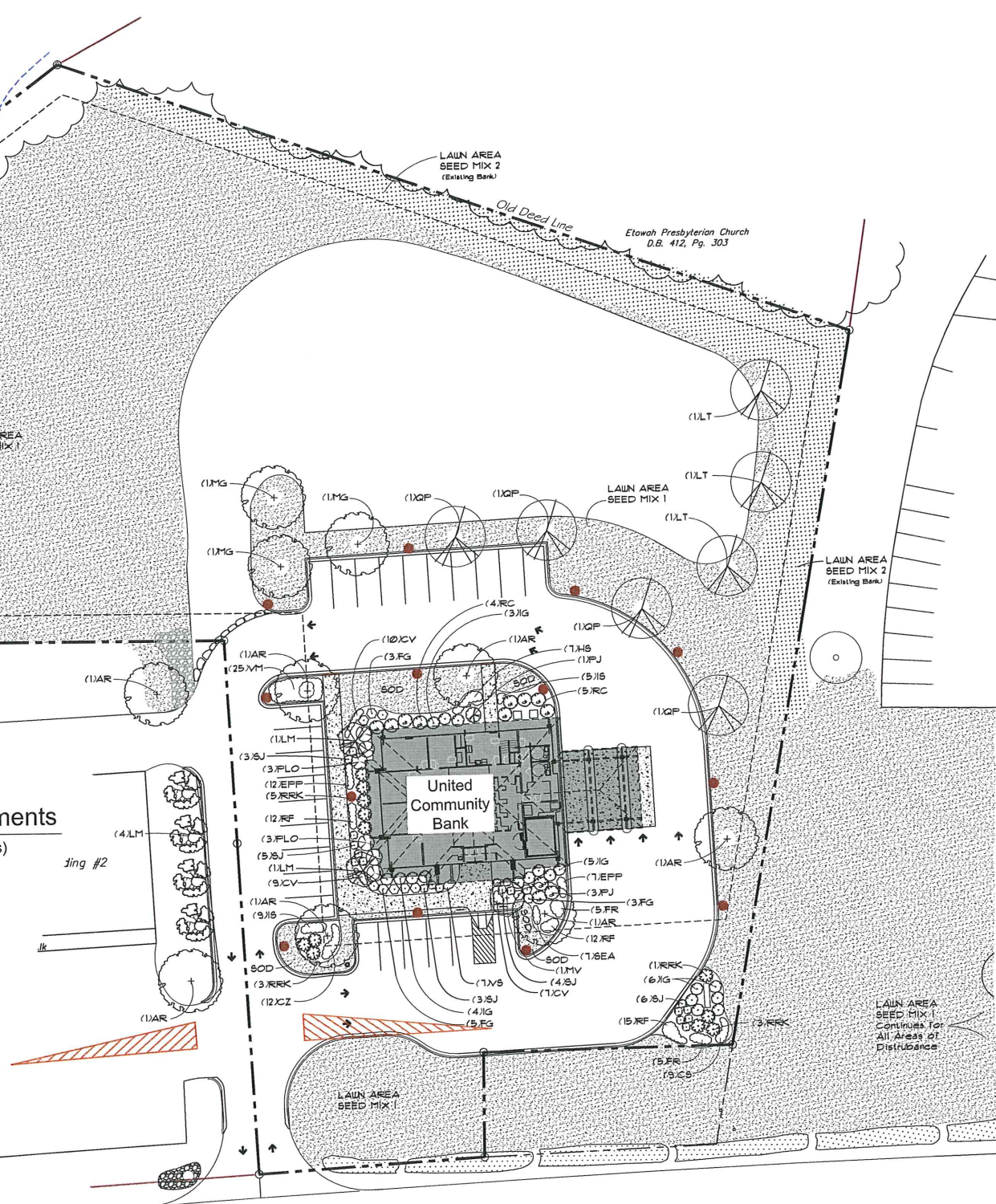
PERMANENT SEEDING SCHEDULE

Species	Rate (lb./acre)
Seeding mixture: Tall fescue blend (equal parts Rebel 2)	150-200
Soil Amendments: Apply 3,000-4,000 lb/acre grain straw or equivalent cover of another suitable mulch. Anchor mulch by tacking with asphalt, roving or netting or by rolling and watering.	
Maintenance: The bunch-type habit of tall fescue restricts its spread into damaged areas. Reseed bare spots in the fall. Refertilize annually in late winter and again in fall. Reseed, fertilize, and mulch damaged areas immediately.	

Lawn Seed Mix 2

PERMANENT SEEDING SCHEDULE

Species	Rate (lb./acre)
Seeding mixture: Weeping Love Grass Little Bluestem Winter Rye Grass	15 15 25
Soil Amendments: Apply 3,000-4,000 lb/acre grain straw or equivalent cover of another suitable mulch. Anchor mulch by tacking with asphalt, roving or netting or by rolling and watering.	
Maintenance: The bunch-type habit of lovegrass restricts its spread into damaged areas. Reseed bare spots in the spring. Refertilize annually in late winter and again in fall. Reseed, fertilize, and mulch damaged areas immediately.	



Other Consultants:
Surveyor: Association Land Surveys and Planning - Peter N. Glass, PLS
Architect: Commonwealth Builders and Architects - Peter N. Glass, PLS

Client:
UNITED COMMUNITY BANK
P.O. Box 979
Brevard, North Carolina, 28712

Project:
UNITED COMMUNITY BANK
Etowah, North Carolina Branch

Sheet:
Development Plan
Landscape Plan

Designed By:
Creative Development Solutions
1205 4th Avenue, Suite 200, Brevard, NC 28712
P: 828-686-4949 | F: 828-686-4948

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: [Signature]
DRAWN BY: [Signature]
APPROVED BY: [Signature]

SHEET NUMBER:
L8

Project Number:

Scale: 1"=20'-0"

BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

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Etowah Sewer Company

Post Office Box 1659
Etowah, NC 28729
828-891-7022

May 21, 2010
Tap Letter #162

Henderson County Building Inspections Dept.
101 E. Allen St.
Hendersonville, NC 28792
Fax: 698-6185

RE: Sewer Service Location: 2.55 acres at Etowah Town Square
Applicant: United Community Bank

Dear Sir:

This is to advise that sewer service has been approved and will be provided by the Etowah Sewer System for the above referenced Applicant/location(s).

If you have any questions, please feel free to call Eva McCrary at 891-7022 or me a 890-4810.

Sincerely,



Tom Kilpatrick
Manager & ORC

cc: Eva McCrary, fax @ 891-8446



Tom Kilpatrick & Associates



P.O. Box 679
Etowah, NC 28729
828-890-4810
Mobile: 828-243-1784

F A X

To: John Goins
United Community Bank

Fax: 884-4095

From: Tom Kilpatrick

Subj: Sewer Tap Approval, Etowah Sewer Company

No. of pages: 2, including cover

Date: May 28, 2010

Attached is your approval letter for sewer service for UCB's new building in Etowah. A copy has been faxed to Henderson County Inspections Dept.

If you need anything else, give me a call.

Thanks

Tom



United Community Bank.

May 26, 2010

Pastor Ike Kennerly
225 Joree Lane
Brevard, NC 28712

Dear Pastor Kennerly,

It was a pleasure to meet with you in Etowah on Monday and to meet Ms. Gash. United Community Bank is very pleased that we are able to work together with Etowah Presbyterian Church on this mutually beneficial project.

Per our meeting and discussions on Monday, please accept this letter along with the attached sheets L1 and L6 as evidence of our agreement to allow United Community Bank to cross the property lines of Etowah Presbyterian Church for the purpose of grading the Church's property and for the purpose of moving some excess dirt to our new bank building site.

As noted at our meeting, the grading work will begin just as soon as the permitting process is complete. Once begun, all grading work will be coordinated through our general contractor keeping you informed as to the progress.

If this letter meets your needs, please sign and return one original to me and keep the other for your records.

Sincerely,

Greg M. Hining
CEO

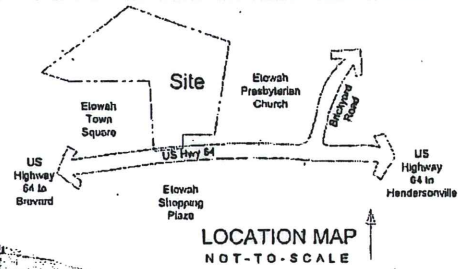
United Community Bank

Signed and accepted this 1st day of June 2010.

10 Park Place East
Brevard, NC 28712
828.884.2600
Fax 828.884.4095

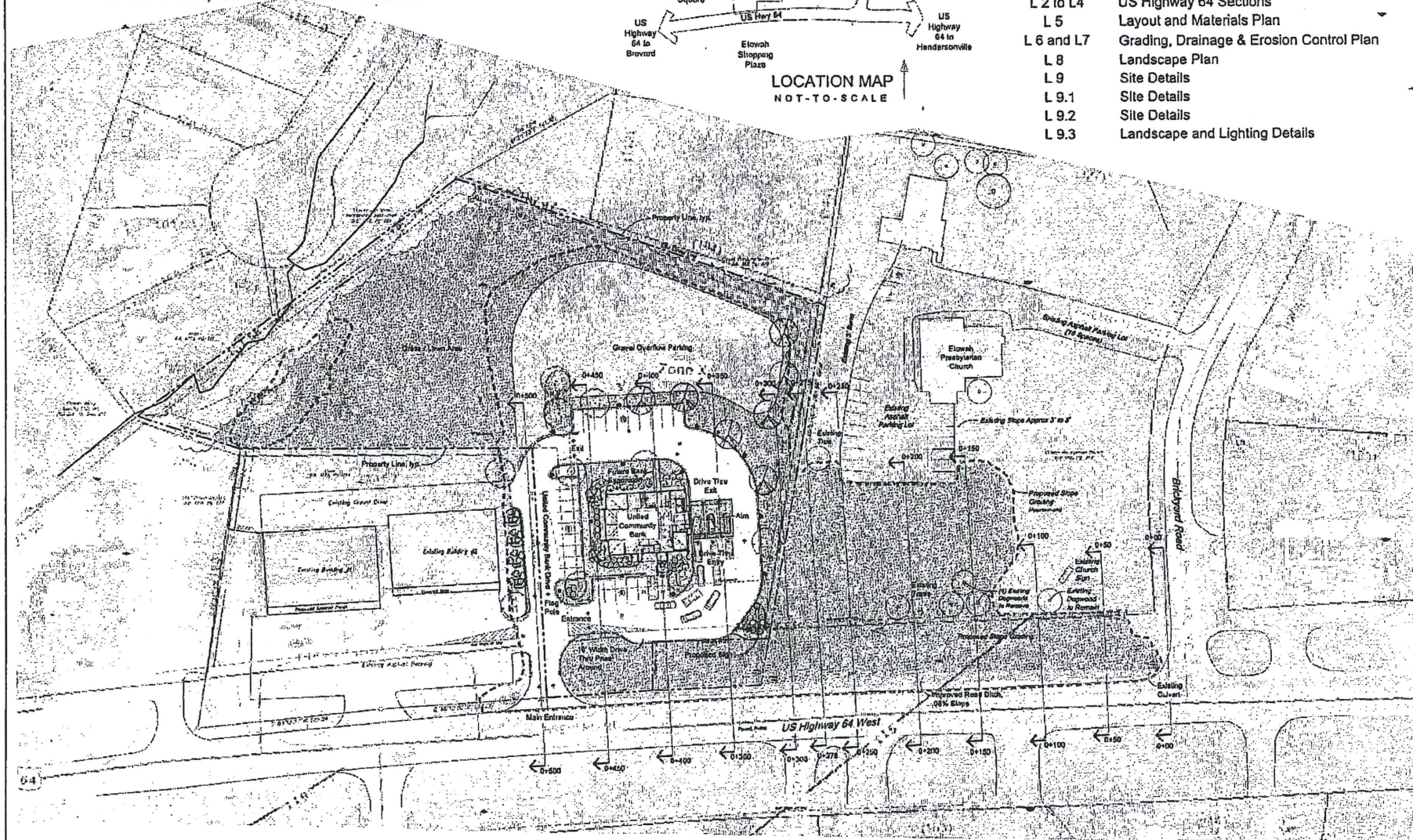
United Community Bank

Etowah, North Carolina



Sheet Index

Sheet No.	Sheet Title
L 1	Overall Master Plan
L 2 to L 4	US Highway 64 Sections
L 5	Layout and Materials Plan
L 6 and L 7	Grading, Drainage & Erosion Control Plan
L 8	Landscape Plan
L 9	Site Details
L 9.1	Site Details
L 9.2	Site Details
L 9.3	Landscape and Lighting Details



0' 30' 60' 120' 180'
SCALE: 1"=30'-0"

Client: UNITED COMMUNITY BANK
 Etowah, North Carolina, 28112
 Project: UNITED COMMUNITY BANK
 Etowah, North Carolina, 28112
 Sheet: Overall Site Master Plan
 Designer: CDS
 Date: 11/19/12
 Scale: 1"=30'-0"
 Project No.: 119-12
 Sheet No.: 1-1771A
 Author: [Signature]
 Date: 11/19/12

Accessibility Notes

1. CONTINUOUS TO PUBLIC HIGHWAY NO ACCESSIBLE WALKWAY IS SPECIFIED WITH 2% IN SLOPE AND 36" WIDE TO BE IN ACCORD WITH ADA AND 2010 ADA STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND ELEMENTS OF ARCHITECTURE. ALL WALKWAYS SHALL BE CONCRETE OR ASPHALT. ALL WALKWAYS SHALL BE 36" WIDE TO BE IN ACCORD WITH ADA AND 2010 ADA STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND ELEMENTS OF ARCHITECTURE. ALL WALKWAYS SHALL BE 36" WIDE TO BE IN ACCORD WITH ADA AND 2010 ADA STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND ELEMENTS OF ARCHITECTURE.

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Erosion Control Information

Total Limits of Disturbance - 2.72 Acres (Calculated with CADR, Area Computation)

Contact Person Responsible for Erosion Control Maintenance - Clark and Leatherwood

Existing Project Site - Compacted Clay Loam

Existing Project Site Below Storm Outlet - Woodland Loam

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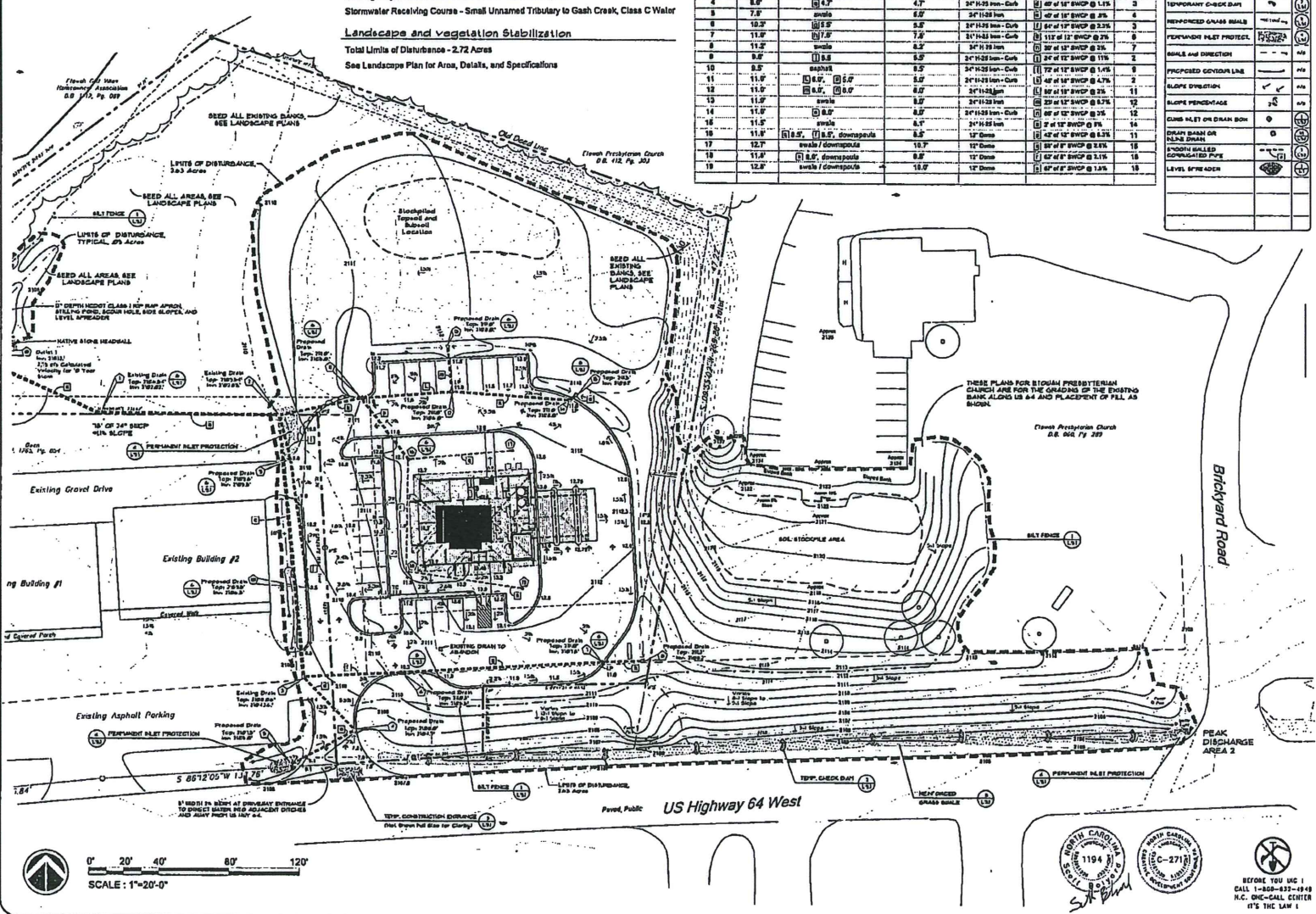
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Origin Structure	Run In Elevation	Invert In Elevation	Invert Out Elevation	Grate Type	Pipe Number	To Structure
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3(Existing)	8.54'	2.02'	2.02'	Existing Box	12" of 12" SWP @ 2.2%	2
4	8.54'	2.02'	2.02'	24" x 24" Inlet	12" of 12" SWP @ 1.1%	3
5	7.7'	6.2'	6.2'	24" x 24" Inlet	12" of 12" SWP @ 2.2%	4
6	10.2'	6.2'	6.2'	24" x 24" Inlet	12" of 12" SWP @ 2.2%	5
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PERMANENT FLEET PROTECTION	(Symbol)
TEMPORARY CHECK-DAM	(Symbol)
PERMANENT GRASS SHALE	(Symbol)
PERMANENT FLEET PROTECT.	(Symbol)
SCALE AND DIRECTION	(Symbol)
PROPOSED CONTOUR LINE	(Symbol)
SLOPE INDICATION	(Symbol)
SLOPE PERCENTAGE	(Symbol)
CONCRETE OR BRICK BOX	(Symbol)
BRICK BRICK OR BRICK BRICK	(Symbol)
SMOOTH WALLED CORRUGATED PIPE	(Symbol)
LEVEL SPREADER	(Symbol)



Other Constraints: _____

Client: UNITED COMMUNITY BANK
700 So. 1st St.
Brentwood, TN 37027

Project: UNITED COMMUNITY BANK
Eastman High-Campus Branch

Sheet: Development Plan
Grading, Drainage, & Erosion Control Plan

Designed By: CDS
Checked By: _____

DATE: _____

PROJECT NUMBER: _____

SCALE: _____

BEFORE YOU DIG I
CALL 1-800-432-4949
I.C. ONE-CALL CENTER
IT'S THE LAW I