

## **REQUEST FOR COMMITTEE ACTION**

### **HENDERSON COUNTY TECHNICAL REVIEW COMMITTEE**

**MEETING DATE:** Tuesday, January 3, 2017

**SUBJECT:** Master Plan for South Creek Cottages (2016-M05)

**STAFF CONTACT:** Brian Burgess, Planner

**ATTACHMENTS:**

1. Staff Report
2. Combined Master and Development Plan
3. Water Availability Letter

#### **SUMMARY OF REQUEST:**

Gary Davis, Civil Engineer, on behalf of South Creek Cottages, LLC, owners, submitted a Master Plan for the project known as South Creek Cottages (formerly referred to as “Chapel Cove”). The project is located on approximately 19.36 acres of land located on Patty’s Chapel Rd. (SR 1555). The project site is composed of two (2) separate parcels (9662-01-4641 and 9662-11-1358).

The Master Plan proposes a total of 21 single family residential lots. The applicant is currently proposing a density of 1.1 dwelling units per acre. The project is not located in a water supply watershed district nor is it located within the floodplain. A public water connection to the City of Hendersonville and private individual or community septic systems are proposed to serve the project site.

#### **TECHNICAL REVIEW COMMITTEE ACTION REQUESTED:**

Because the project includes less than 35 lots, final approval is given by the Technical Review Committee. Staff has found that the Master Plan appears to meet the technical standards of the subdivision regulations of Chapter 200A, Henderson County Land Development Code (LDC) except for the comments listed in the Staff Report (See Attachment 1).

Staff recommends approval of the Master Plan subject to the developer addressing any issues raised by the Technical Review Committee and addressing the comments listed in the Staff Report.

**Suggested Motion:** I move that the TRC approves the South Creek Cottages Major Subdivision Master Plan with the conditions noted in the staff report and otherwise noted by the TRC.

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## Henderson County Planning Department Staff Report

### Combined Master and Development Plan South Creek Cottages, Major Residential Subdivision (2016-M05) Pin: 9662-01-4641; 9662-11-1358

South Creek Cottages, LLC, Owner  
Gary Davis, Plan Preparer

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#### **Master Plan Comments:**

According to Chapter 42A, Henderson County Land Development Code (LDC) §42A-341, the purpose of a Master Plan is to provide general information about the proposed development to allow for an assessment of its impact on the orderly growth and development of the County, environmental quality, land values, natural features identified on the site analysis sketch and the County's roads and governmental services. During the review of the Master and Development Plan, the Technical Review Committee should take into consideration: applicable recommendations of the *Henderson County 2020 Comprehensive Plan*, the potential use of the land to be subdivided, and the impact of the subdivision and proposed use whether residential, commercial or industrial.

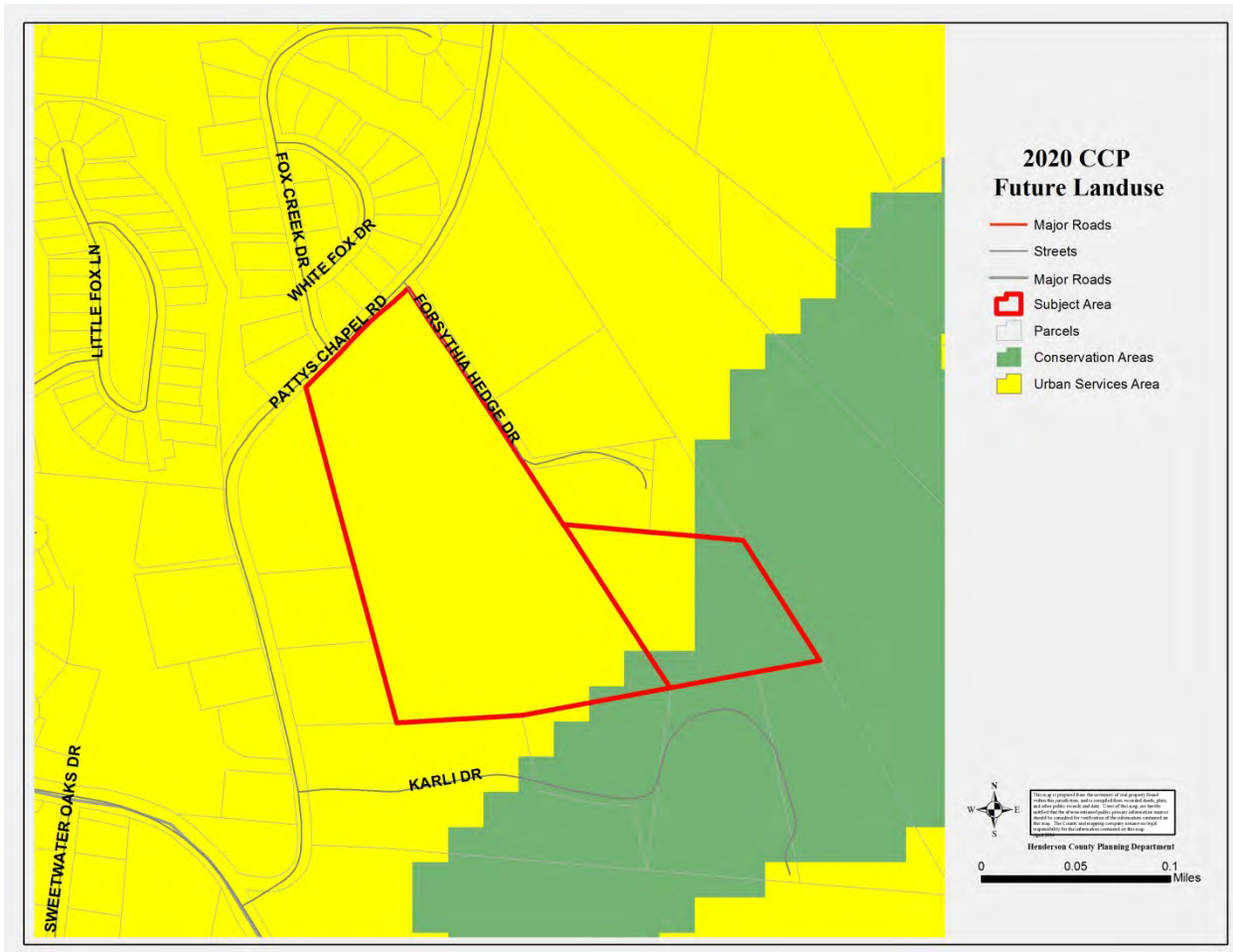
When reviewing the Master and Development Plan it is important to consider that, due to severe topographic conditions, inadequate road access, distance from services, unique natural areas, soils that do not easily support soil drainage systems and or the proximity to existing and incompatible land uses/zoning, all land may not be suitable to be subdivided for the purpose of dense development (LDC §42A-75).

The proposed project is in the Hooper's Creek Township, on Patty's Chapel Rd., near Howard Gap Rd. Staff has reviewed the submitted Combined Master Plan and Development Plan for South Creek Cottages major residential subdivision, taking into consideration the recommendations of the *Henderson County 2020 Comprehensive Plan* and reviewing the plan for conformance with Henderson County Land Development Code. Staff offers the following comments:

1. **Henderson County 2020 Comprehensive Plan (CCP).** The Future Land Use Map of the CCP shows the project site as being located primarily within a Urban Services Area (USA) with some of the subject area falling within a Conservation Area. (See Map A: CCP Future Land Use Map).
  - (a) **Urban Services Area.** The Urban Services designation of the Growth Management Strategy is applied to the project site. The CCP states that, "Wide ranges of residential

- densities will exist. Over the long term, land use regulations and policies should favor higher density development, consistent with natural constraints and the availability of urban services. At the same time, policies and regulations should protect existing less-intensely developed communities.” (2020 CCP, Pg. 133). The developer is proposing moderately dense development. . “Land use planning should acknowledge the presence of sensitive natural areas such as floodplains, wetlands, areas of excessively steep topography, and other natural and cultural assets, and should strive to protect these areas from development that would damage them or diminish their integrity.” (2020 CCP, Pg. 133). This should be considered in light of the subject area’s partial inclusion in a conservation area.
- (b) **Conservation Area.** Conservation Areas are “land areas that are intended to remain largely in their natural state, with only limited development.” (2020 CCP, Pg. 138) The developer is proposing only 5 lots that would fall into this area, with roughly 14% of the total acreage being within a Conservation Area.

**Map A: CCP Future Land Use Map**

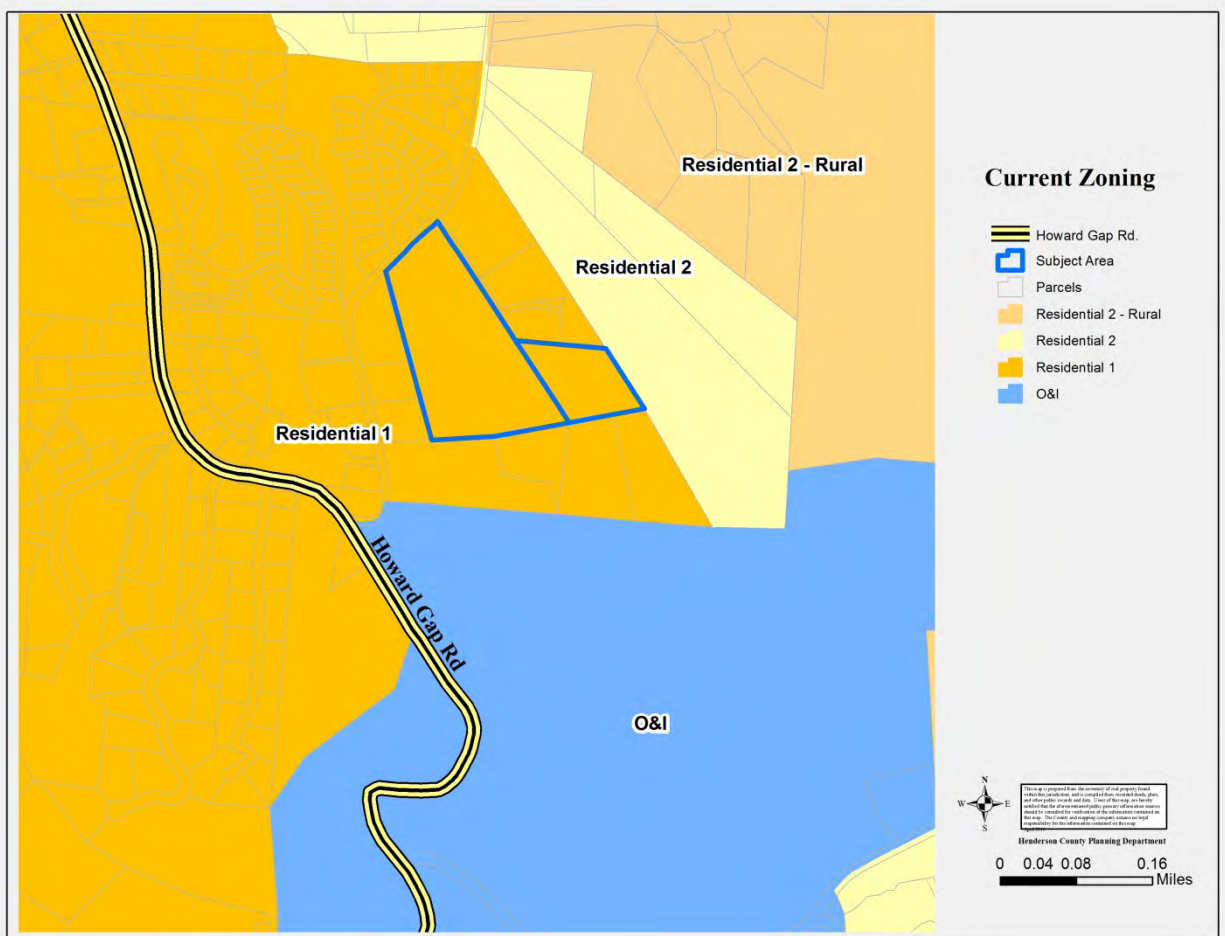


According to the plan, the Subject area would have a minimum lot size of 28,066 square feet (0.64 acres) and a maximum lot size of 43,306 square feet (0.99 acres). (See Attached, Master Plan & Development Plan).

2. **Chapter 42A, Henderson County Land Development Code (LDC).** According to Chapter 42, Henderson County Land Development Code (LDC) and its Official Zoning Map adopted September 19, 2007 (as amended), the proposed project site is located within the Residential One (R-1) zoning district (See Map B: Official Zoning Map). The R-1 district allows for single-family and manufactured homes (multi-section), excluding manufactured homes (singlewide) and mobile homes.

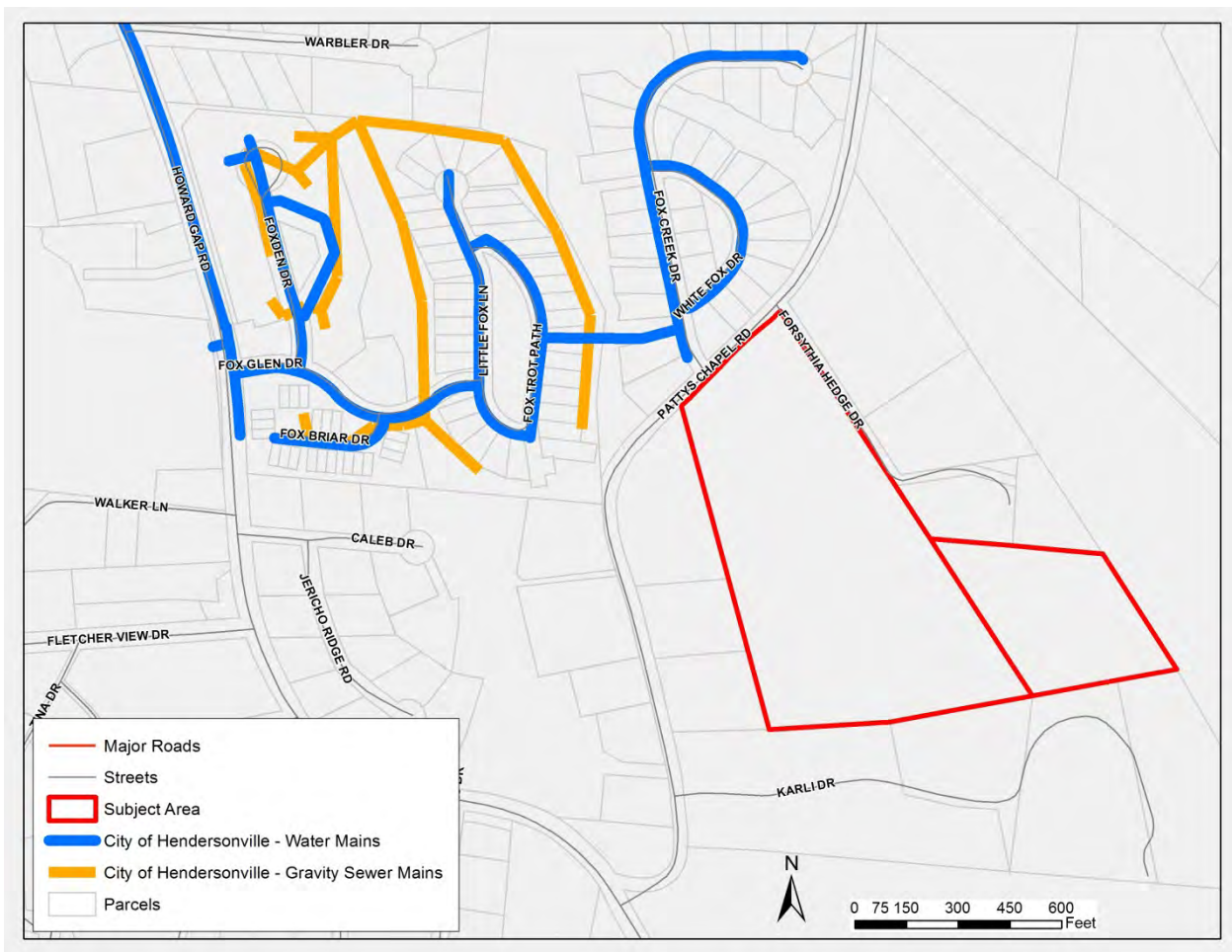
Combined, the property totals 19.36 acres. The Master Plan proposal of 21 residential lots would fall within the permitted density requirements by the LDC. (See Attached, Master Plan & Development Plan).

**Map B: Official Zoning Map**



3. **Water and Sewer Availability.** Applicant proposes private individual septic and public water. The distance to nearest public water and sewer (City of Hendersonville) is ~87 feet from water and ~296 feet from sewer. The developer is not proposing enough lots to require connection (LDC §42A-113 C.5). The developer has provided correspondence affirming that City of Hendersonville water is available to the site. (see attached, RE: Water Availability)

**Map C: Public Water and Sewer Map**



**Master & Development Plan Comments:**

1. **Soil Erosion and Sedimentation Control Plan.** The Applicant shall submit written notice from the appropriate local agencies verifying that an Erosion and Sedimentation

Control Plan has been received or a written notice from a professional land surveyor, engineer, landscape architect, architect, or professional planner certifying that no plan is required (LDC §42A- 113B).

2. **Private Road Standards.** The Applicant has indicated that new roads are proposed. All subdivision roads must be designed and constructed to the minimum standards of LDC §42A-81 C (Table 3.1). The final plat(s) must contain a note stating: *The private roads indicated on this final plat may not meet the requirements of the North Carolina Department of Transportation for acceptance into the state road system.* Planning Staff proposes the following conditions to ensure the private roads meet the standards of the Land Development Code:
  - a. **Road Drainage and Culverts.** Road or drainage structures shall be constructed in accordance with state roads standards. Road drainage side ditches shall be constructed with sufficient depth and width to carry the expected volume of storm water runoff (LDC §42A-100).
  - b. **Road Construction.** A professional engineer or professional land surveyor certify on the final plat that no portion of the constructed roads have grades that exceed maximum allowable grade as defined for each class of road or submit a final as-built graded center line profile showing grade and alignment for all roads (LDC §42A-82).
  - c. **Minimum Curve Radius.** Should the Applicant request a reduction in centerline radii, that a professional engineer or professional land surveyor certify on the final plat, the existing cross slope of roadway sections where reductions in centerline radii are requested (LDC §42A-106 C).
  - d. **Dead Ends, Cul-de-sacs and Turnarounds.** The Applicant proposes two (2) cul-de-sacs located at the end of local road, Olivet Lane and Eden Court. All turnarounds must meet of the LDC §42A-105 C (8).
3. **Shoulder Stabilization.** All areas disturbed by the construction of a private road, including cut and fill slopes, shoulders and ditch banks, shall be seeded to stabilize the soil and prevent erosion. Seeding should be done as soon as feasible after road construction (LDC §42A-97).
4. **Road Grade.** The maximum road grade for local roads constructed of gravel is 15 percent and 18 percent for asphalt. A professional engineer or professional land surveyor must certify on the Final Plat that no portion of the road has a grade that exceeds the allowable percent or submit a final as-built graded center line profile showing grade and alignment of the road (LDC §42A-81C (Table 3.1). and §42A-81 C(4)).
5. **Road Name Approval.** Proposed road names for a private and/or public road shall be preapproved by Henderson County in accordance with Chapter 42 of the Henderson

County Code, Property Addressing (LDC §42A-98). The applicant lists the proposed road names for all road segments. The names of the shared drives should be confirmed with the Master and Development Plan approval. Property Addressing has reviewed and approved the proposed road names in this plan.

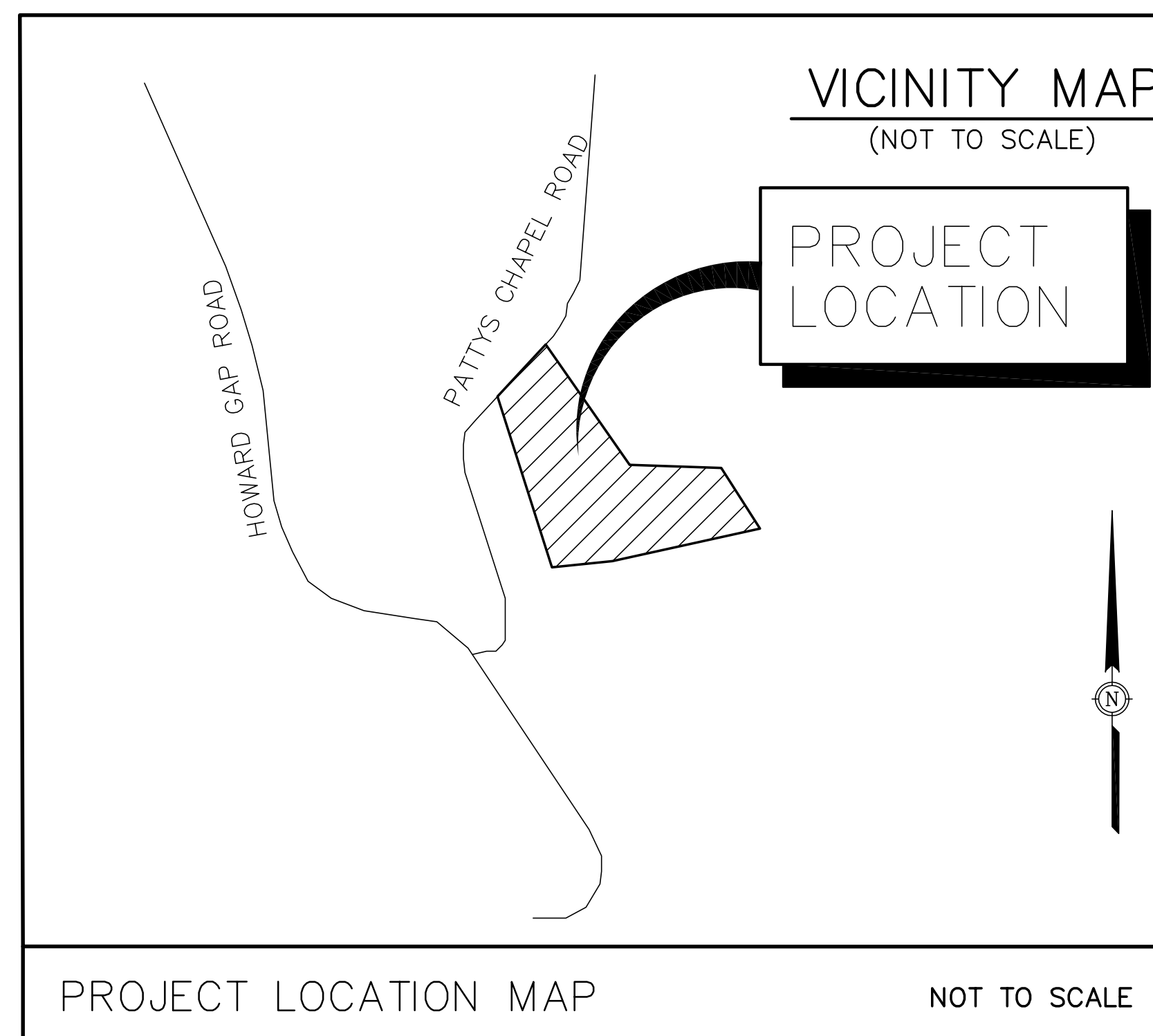
6. **Subdivision Names.** The final plat shall contain certification that the public records of the County have been searched and the proposed subdivision name meets the standards set forth in this Chapter (LDC §42A-85).
7. **Fire Protection Requirements.** Any subdivision served by a public water system shall meet the County's standard of one (1) hydrant per 1000 feet of linear road distance. (LDC §42A-81 B(4))
8. **Street Tree Requirements.** According to the street tree requirements of Chapter 42A (LDC §42A-176 & 178) the applicant must provide one tree per 50 linear feet of property abutting an internal road. Trees may be placed in groups with a minimum spacing of no less than 15 feet and maximum spacing of no more than 65 feet. The trees must be placed within the right-of-way or within 20 feet of the edge of the right-of-way. The applicant may use existing trees in accordance with §42A-153 instead of planting new trees. These existing trees must also be located within the right-of-way or 20 feet of the edge of the right-of-way as required by §42A-178. All street trees must be properly planted and meet the spacing requirements or the applicant may post an improvement guarantee with the County before the final plat can be approved. Planning Staff recommends that street trees outside the ROW be protected by requiring a platted easement or restriction preventing lot owners from removing trees designated as meeting the street tree requirement.
9. **Miscellaneous Advisory Provisions.** The Applicant should become familiar with the Miscellaneous Advisory Provisions of Chapter 42A (LDC §42A-87).
10. **Final Plat Requirements.** The Final Plat(s) must meet the requirements provided by the Planning Department whenever a subdivision of land occurs (LDC §42A-343).

# Site Development for CHAPEL COVE SUBDIVISION

## HENDERSON COUNTY, NORTH CAROLINA

OWNER/DEVELOPER: SOUTH CREEK COTTAGES, LLC  
103 MCDOWELL RD.  
MILS RIVER, NC 28759

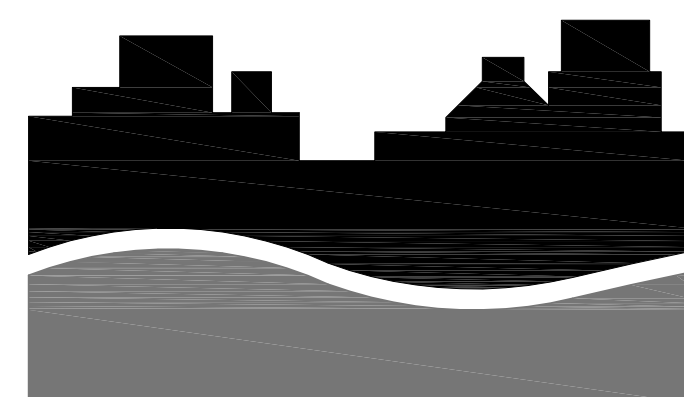
CONTACT: RICK MOORE  
(828) 891-8900



### INDEX OF DRAWINGS

- G1. COVER SHEET & VICINITY MAP
- C1. EXISTING CONDITIONS
- C2. OVERALL LAYOUT
- C3. LANDSCAPE
- C4. GRADING, STORM DRAIN & EROSION CONTROL
- C5. UTILITIES
- D1. DETAILS
- D2. DETAILS

COMBINED MASTER AND  
DEVELOPMENT PLAN



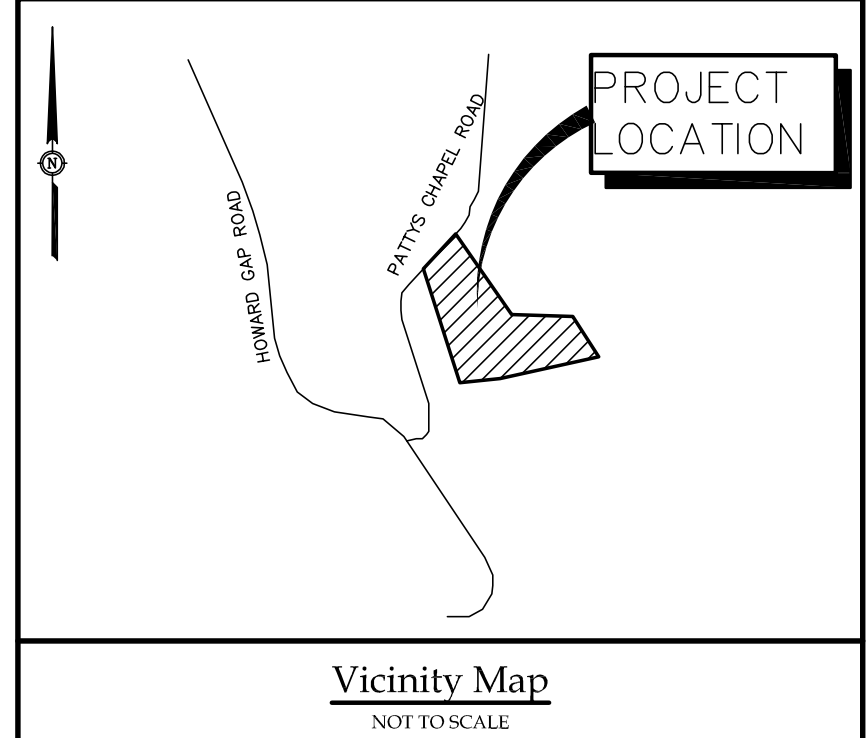
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DECEMBER 8, 2016

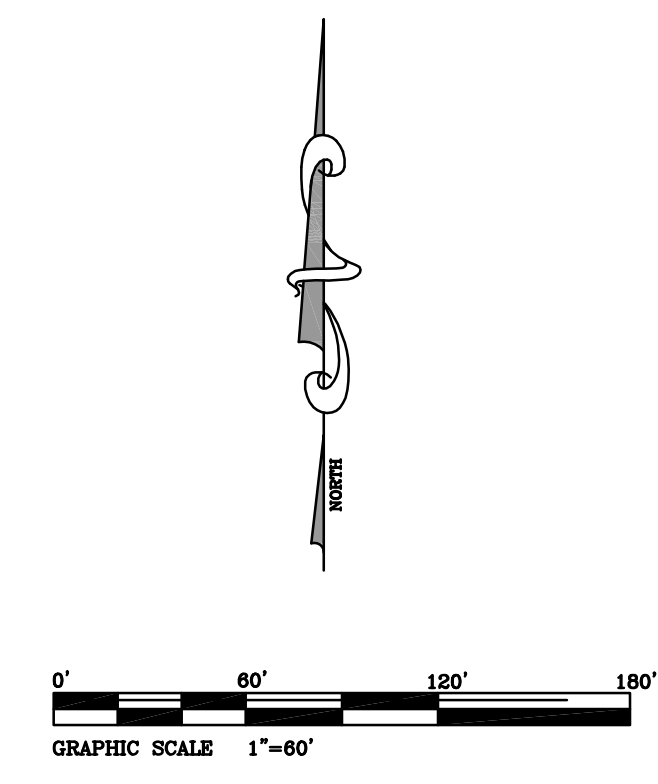
REVISION	DATE	DESCRIPTION



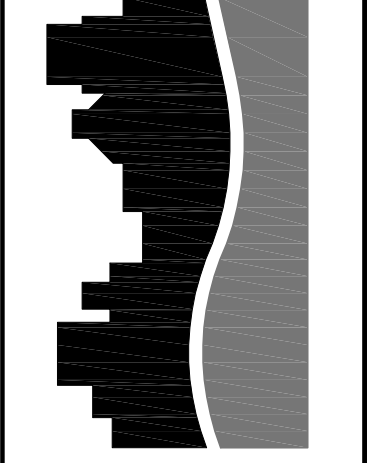


DEVELOPMENT DATA BLOCK	
OWNER/DEVELOPER:	SOUTH CREEK COTTAGES, LLC
CONTACT:	RICK MCORE
PHONE:	(828) 8918900
ADDRESS:	103 MCDOWELL RD, MILLS RIVER, NC
PIN:	9662-01-66-H-B358
PHYSICAL ADDRESS:	NO ADDRESS ASSIGNED
PROPERTY SIZE:	19.36 AC.
ZONING DISTRICT:	HENDERSON CITY R1
SETBACKS:	15' FRONT, 10' SIDE, 10' REAR
STEEP SLOPE:	3699.3 SQ. FT. (0.08 AC.) GREATER THAN 60% PERCENTAGE: 0.04%

- LEGEND**
- BOUNDARY PIN
  - ADJOINING BOUNDARY
  - - - R/W - - - RIGHT-OF-WAY
  - - - UTILITY RIGHT-OF-WAY
  - UPO UTILITY POLE
  - OHU - OVERHEAD UTILITY

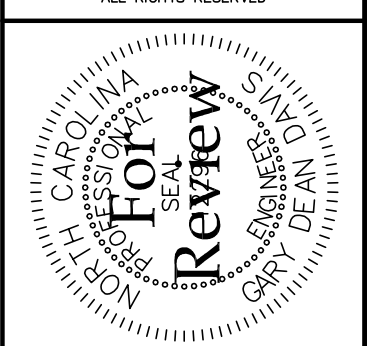


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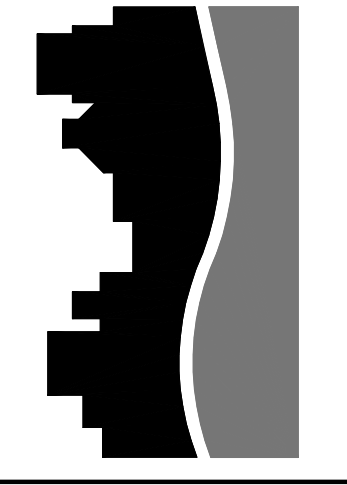


Site Development Plan For  
**CHAPEL COVE  
 SUBDIVISION**  
 HENDERSON COUNTY, NORTH CAROLINA

Job No: 16129  
 Date: December 8, 2016  
 Scale: 1" = 60'  
 Revision:

Combined Master &  
 Development Plan  
 Existing Conditions

Sheet  
**C1**



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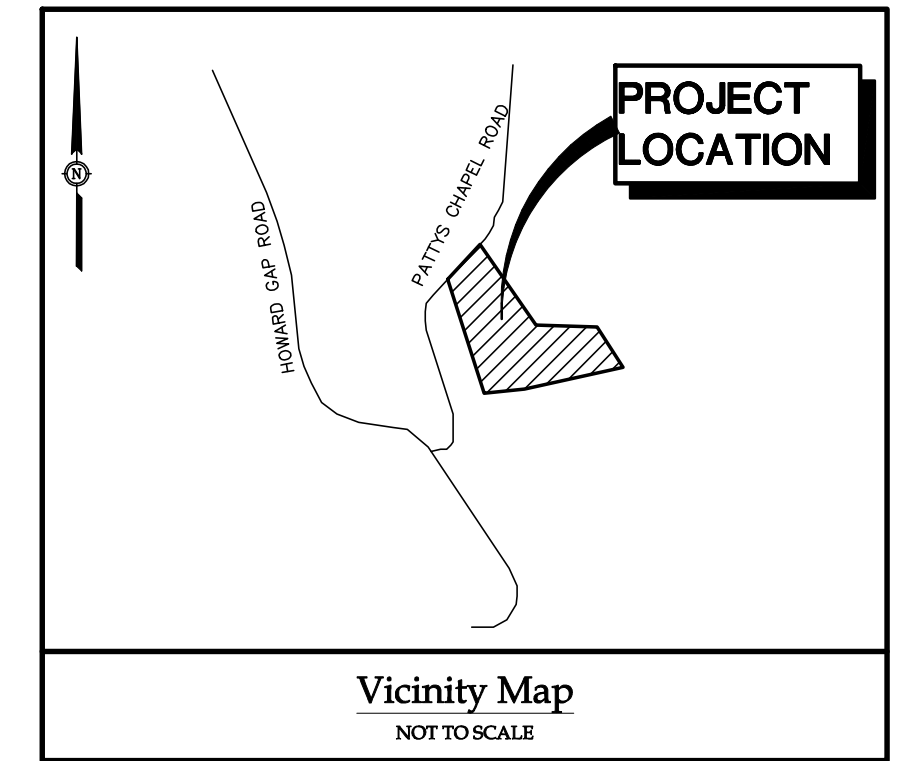
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Site Development Plan For  
**CHAPEL COVE  
 SUBDIVISION**

IBS No.: 16129  
 Date: December 8, 2016  
 Scale: 1" = 60'  
 Revision:

Combined Master &  
 Development Plan  
 Layout

Sheet  
**C2**



Vicinity Map  
 NOT TO SCALE

**DEVELOPMENT DATA BLOCK**

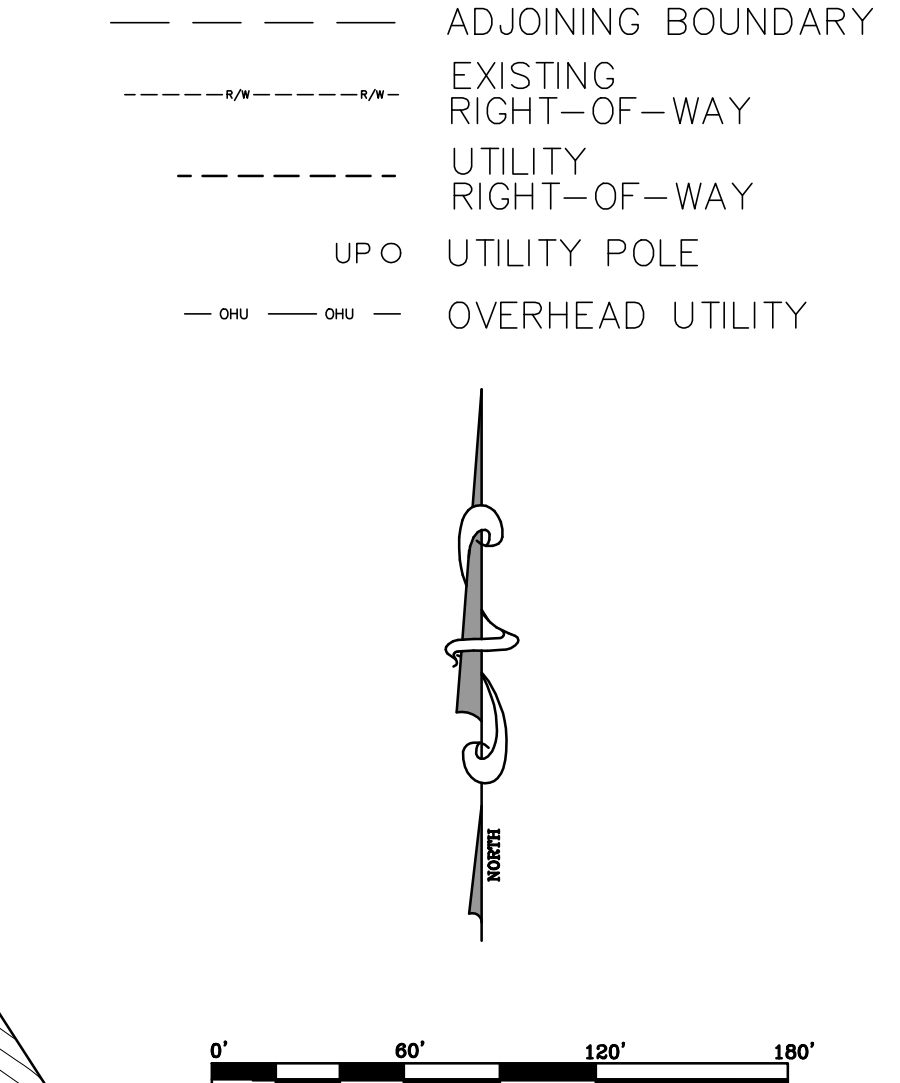
OWNER/DEVELOPER: SOUTH CREEK COTTAGES, LLC  
 CONTACT: RICK MOORE  
 PHONE: (828) 891-8900  
 ADDRESS: 103 MCDOWELL RD, MILLS RIVER, NC  
 PIN: 96620H46H1B358  
 NO ADDRESS ASSIGNED

PHYSICAL ADDRESS: NO ADDRESS ASSIGNED

PROPERTY SIZE: 19.36 AC.  
 ZONING DISTRICT: HENDERSON CITY RJ  
 SETBACKS: 15' FRONT, 10' SIDE, 10' REAR  
 # OF UNITS: 21  
 DENSITY CALCULATIONS: 108 UNITS/AC.

**LEGEND**

- BOUNDARY PIN
- ADJOINING BOUNDARY
- - - - - EXISTING RIGHT-OF-WAY
- - - - - UTILITY RIGHT-OF-WAY
- UP O UTILITY POLE
- OHU --- OVERHEAD UTILITY



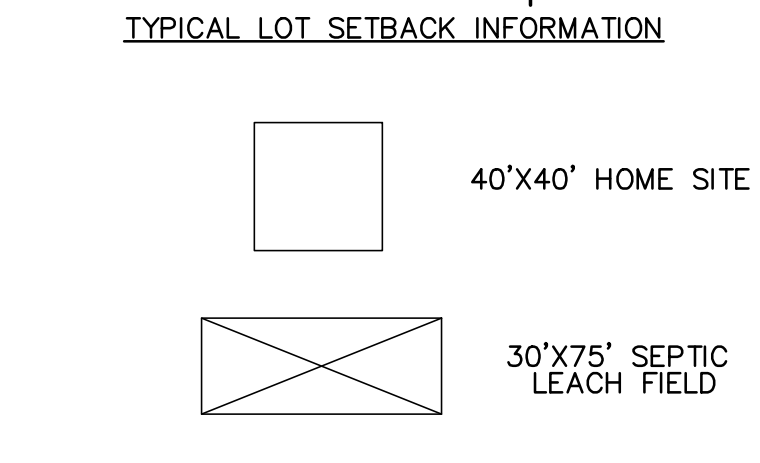
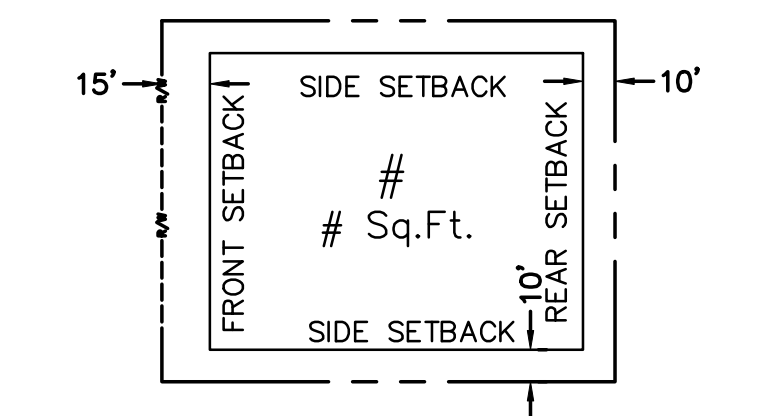
**LOT BOUNDARY LINE DATA**

Curve	Radius	Chord Bearing and Distance	Arc Length
C1	319.23'	N 40°-46'-44" W 13.81'	13.81'
C2	178.20'	N 36°-22'-36" W 15.77'	15.78'
C3	122.50'	N 62°-19'-06" W 75.26'	76.50'
C4	77.50'	N 56°-59'-26" W 61.13'	62.81'
C5	122.50'	S 68°-27'-49" W 18.86'	18.84'
C6	77.50'	S 80°-35'-42" W 42.91'	43.47'
C7	9.25'	N 37°-49'-42" W 12.90'	14.37'
C8	121.41'	N 10°-20'-25" W 107.23'	111.06'
C9	54.09'	S 19°-46'-21" E 10.06'	10.07'
C10	9.00'	S 3°-19'-12" W 8.69'	9.07'
C11	402.95'	S 31°-56'-02" W 7.68'	7.68'
C12	67.67'	S 59°-38'-37" W 60.00'	62.16'
C13	122.50'	S 79°-25'-54" W 28.71'	28.78'
C14	30.00'	N 85°-03'-38" W 24.62'	19.015'
C15	49.87'	N 50°-03'-21" E 44.99'	45.67'
C16	112.50'	N 48°-32'-28" E 69.77'	69.77'
C17	8.84'	N 60°-50'-11" E 8.68'	9.07'
C18	50.00'	N 63°-32'-29" E 11.97'	12.00'
C19	110.86'	N 75°-27'-38" E 42.42'	42.68'
C20	116.14'	N 65°-51'-42" E 5.72'	5.72'
C21	76.90'	N 70°-31'-11" E 30.11'	30.31'
C22	123.04'	N 53°-45'-08" E 69.41'	70.37'
C23	9.10'	N 70°-55'-46" E 7.93'	10.355'
C24	122.50'	N 85°-35'-59" E 78.69'	80.11'
C25	52.12'	N 54°-15'-31" E 26.61'	26.49'
C26	9.00'	N 57°-55'-21" E 8.69'	9.07'
C27	122.42'	N 93°-30'-00" E 56.31'	56.82'
C28	50.00'	S 75°-42'-29" E 57.13'	60.81'
C29	50.07'	S 3°-29'-22" E 60.71'	65.22'
C30	49.96'	S 70°-52'-24" W 60.14'	64.53'
C31	77.50'	S 52°-08'-27" W 108.93'	109.80'
C32	9.00'	N 53°-56'-10" W 8.58'	8.94'
C33	19.91'	N 48°-50'-18" W 39.62'	40.74'
C34	122.50'	S 77°-25'-56" E 54.82'	54.62'
C35	77.50'	S 51°-50'-16" E 73.65'	76.75'
C36	77.50'	S 7°-59'-30" E 41.36'	41.87'
C37	122.50'	S 44°-12'-52" E 44.40'	44.65'
C38	127.49'	S 38°-41'-08" E 21.84'	21.86'

**ROAD CENTERLINE DATA**

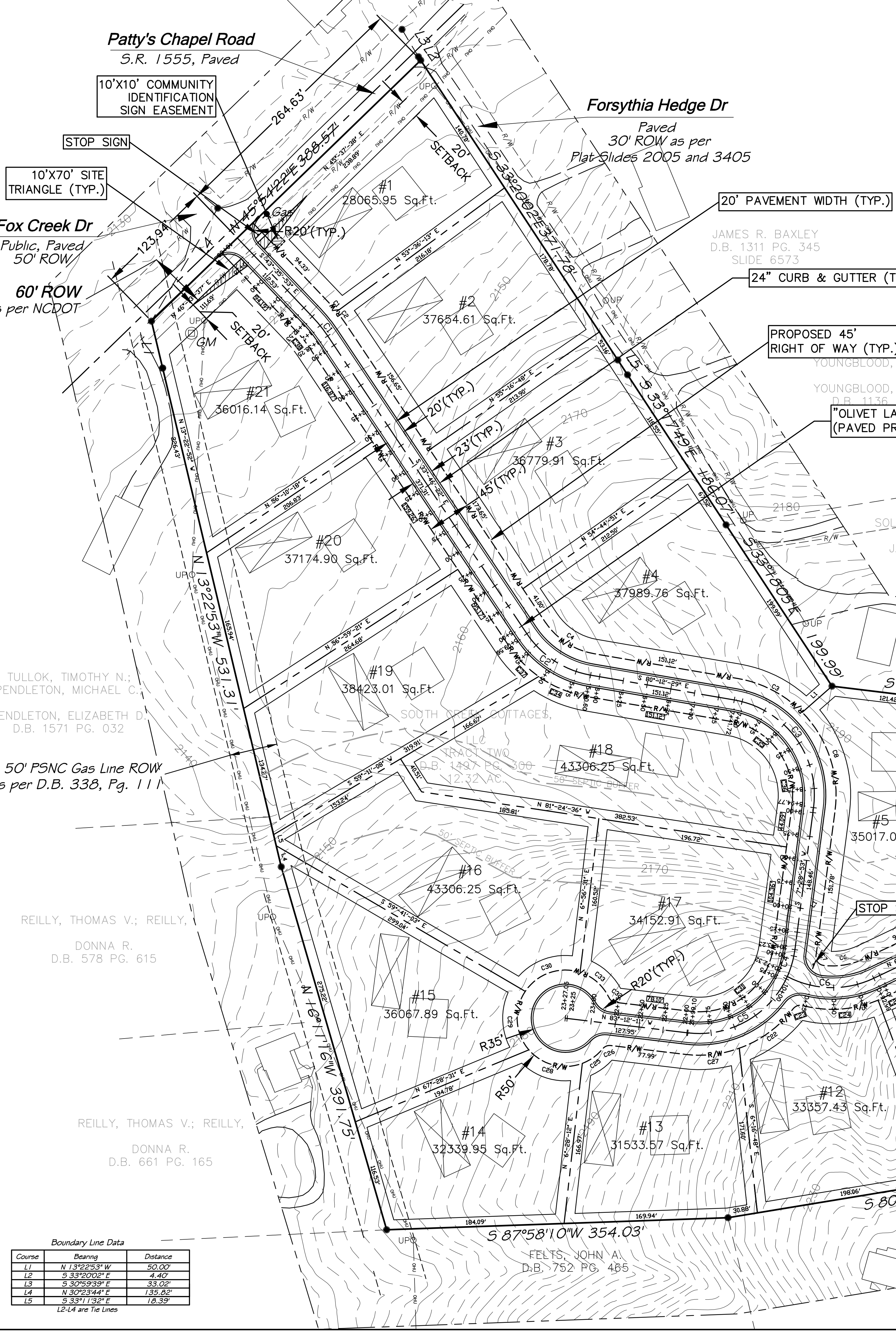
Curve	Radius	Chord Bearing and Distance	Arc Length
C1	150.00'	S 38°-41'-08" E 25.69'	25.72'
C2	100.00'	S 56°-59'-26" E 78.84'	81.04'
C3	100.00'	S 36°-21'-48" E 138.54'	153.05'
C4	100.00'	S 15°-49'-12" W 28.98'	29.09'
C5	100.00'	S 60°-28'-22" W 118.46'	126.78'
C6	100.00'	S 88°-50'-12" E 89.67'	92.99'
C7	100.00'	N 75°-10'-05" E 38.71'	38.95'
C8	90.00'	N 59°-51'-15" E 80.24'	83.17'

Line Bearing Distance  
 L1 N 32°-11'-52" E 57.73'



Line Bearing Distance

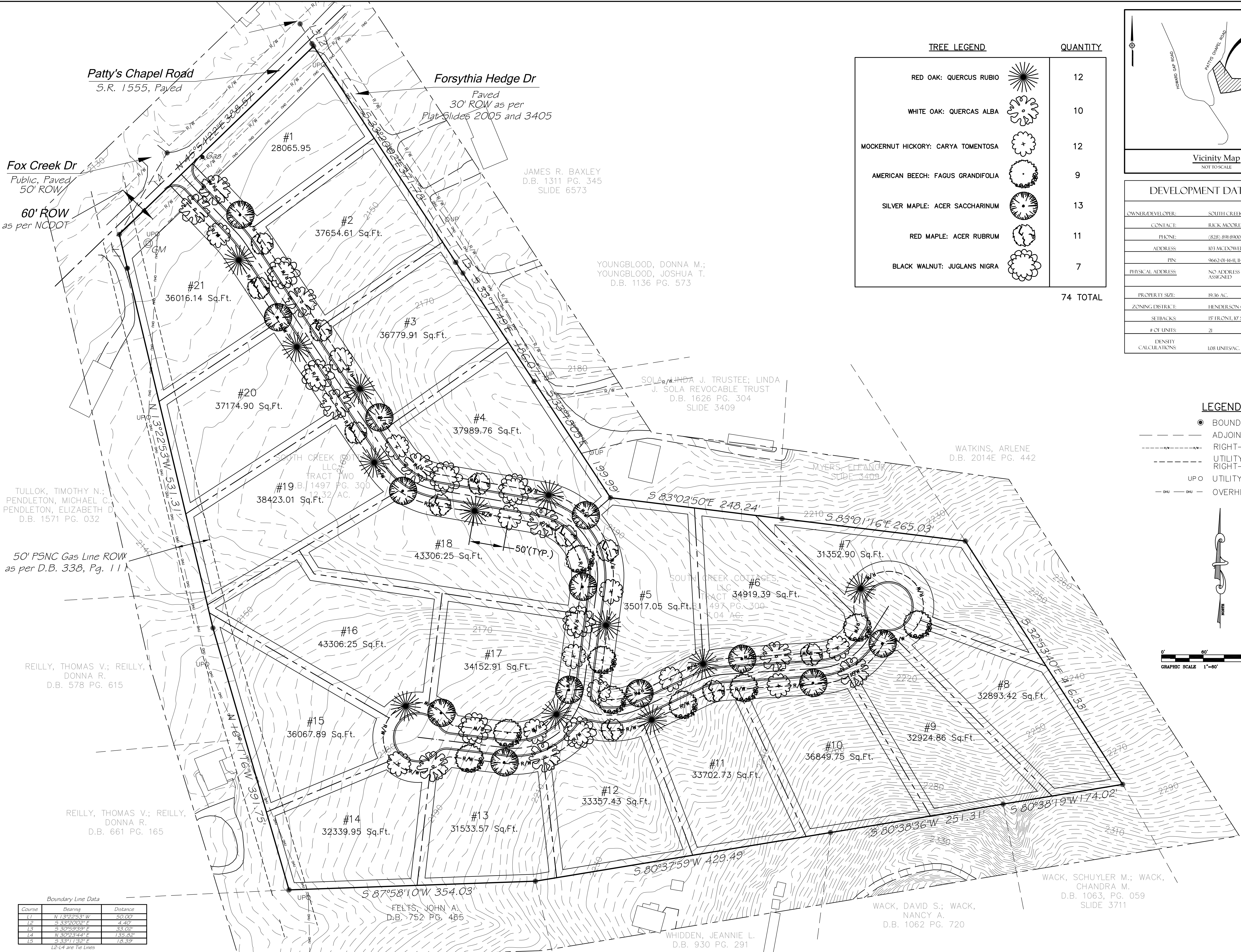
L1	N 48°-39'-27" E	41.02'
L2	N 32°-26'-46" E	8.15'
L3	N 86°-15'-21" E	18.52'
L4	N 13°-22'-53" W	22.46'
L5	N 13°-22'-53" W	11.84'



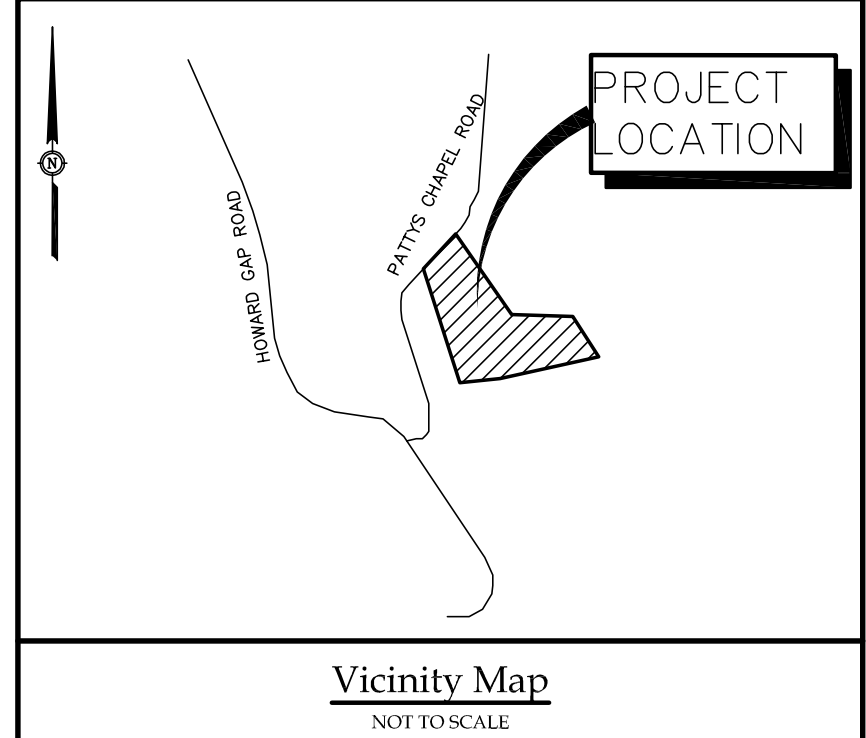
**Boundary Line Data**

Course	Bearing	Distance
L1	N 13°22'53" W	50.00'
L2	S 33°20'02" E	4.40'
L3	S 30°59'39" E	33.02'
L4	N 30°23'44" E	135.92'
L5	S 33°11'32" E	18.39'

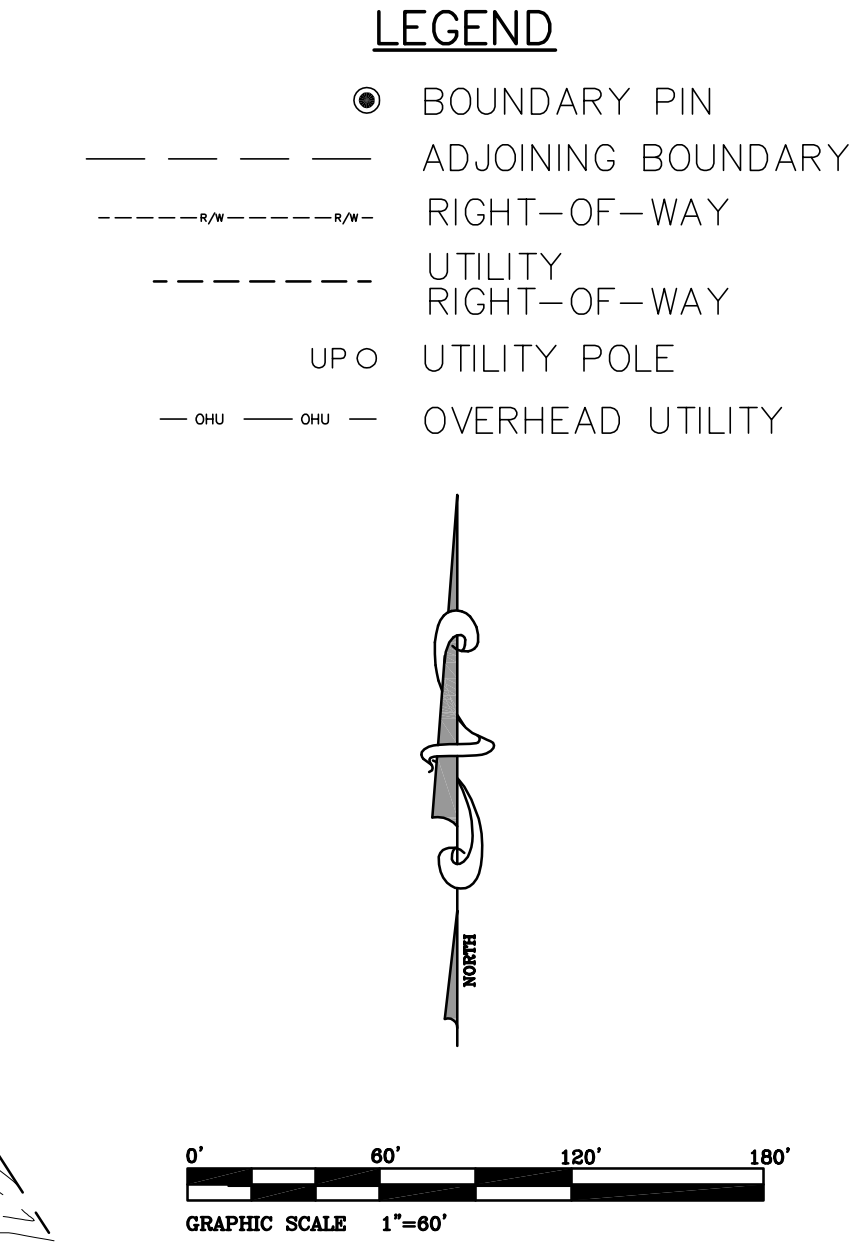
L2-L4 are Tie Lines



TREE LEGEND	QUANTITY
RED OAK: QUERCUS RUBIO	12
WHITE OAK: QUERCUS ALBA	10
MOCKERNUT HICKORY: CARYA TOMENTOSA	12
AMERICAN BEECH: FAGUS GRANDIFOLIA	9
SILVER MAPLE: ACER SACCHARINUM	13
RED MAPLE: ACER RUBRUM	11
BLACK WALNUT: JUGLANS NIGRA	7
<b>TOTAL</b>	<b>74</b>



DEVELOPMENT DATA BLOCK	
OWNER/DEVELOPER:	SOUTH CREEK COTTAGES, LLC
CONTACT:	RICK MCORE
PHONE:	(828) 891-8900
ADDRESS:	103 MCDOWELL RD, MILLS RIVER, NC
PIN:	9662-01-66LH358
PHYSICAL ADDRESS:	NO ADDRESS ASSIGNED
PROPERTY SIZE:	19.36 AC.
ZONING DISTRICT:	HENDERSON CITY R1
SETBACKS:	15' FRONT, 10' SIDE, 10' REAR
# OF UNITS:	21
DENSITY CALCULATIONS:	108 UNITS/AC.



Course	Bearing	Distance
L1	N 13°22'53" W	50.00'
L2	S 33°20'02" E	4.40'
L3	S 30°59'35" E	33.02'
L4	N 30°23'44" E	133.82'
L5	S 33°11'32" E	18.39'

L2-L4 are Tie Lines

**Site Development Plan For  
CHAPEL COVE  
SUBDIVISION**

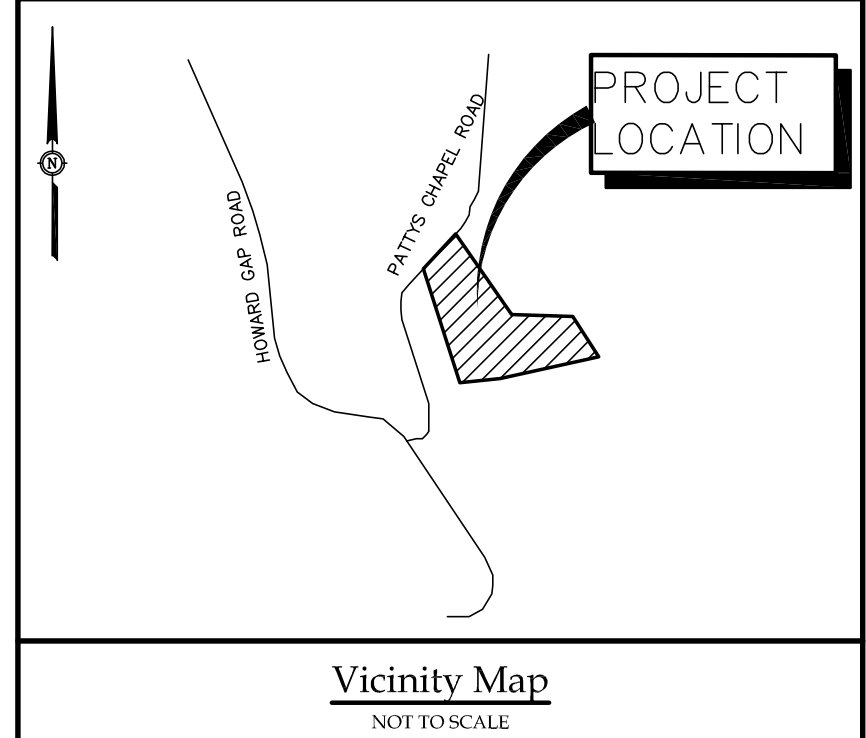
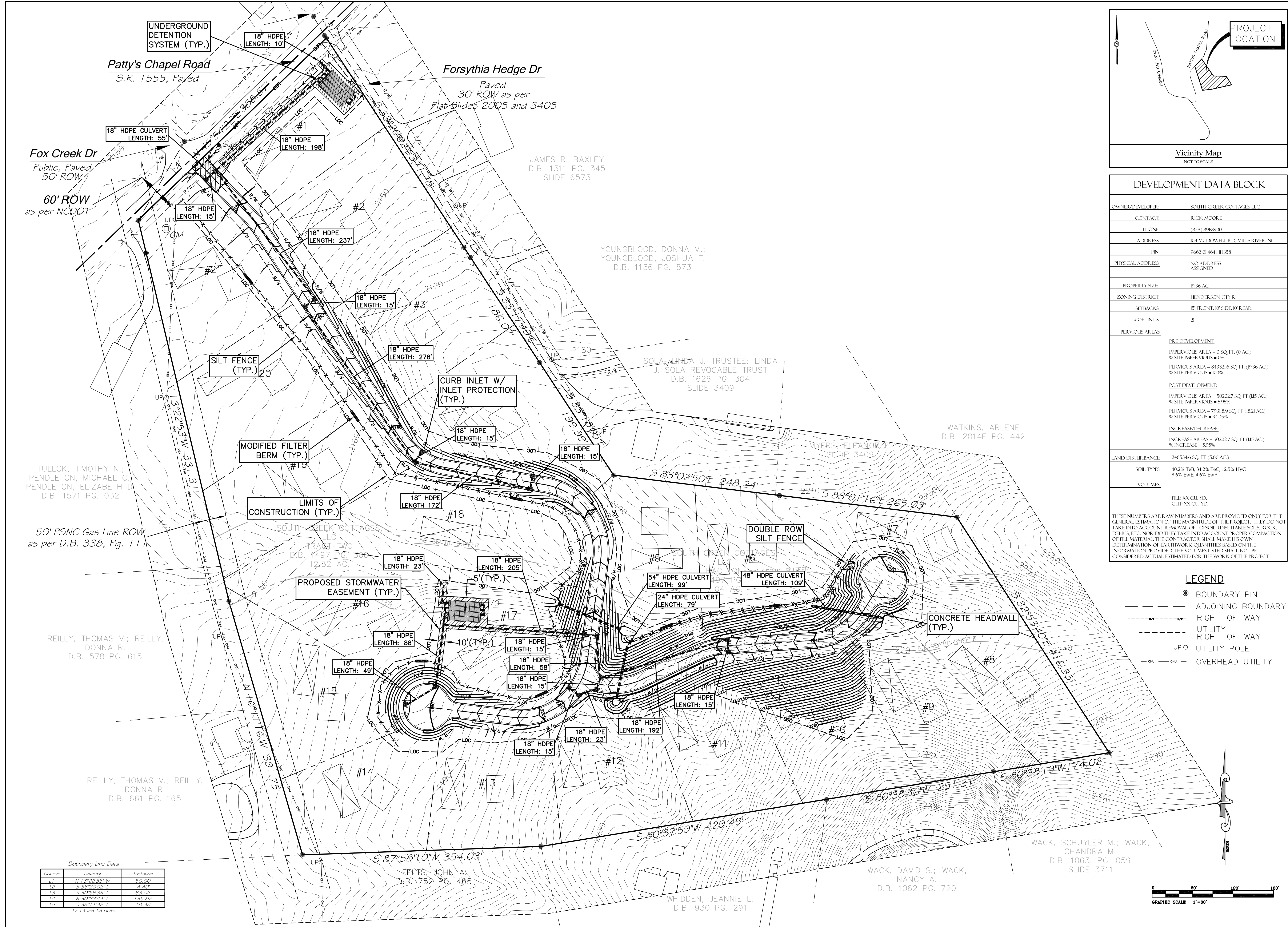
HENDERSON COUNTY, NORTH CAROLINA

Job No.: 16129  
Date: December 8, 2016  
Scale: 1" = 60'  
Revision:

Combined Master &  
Development Plan  
Landscape

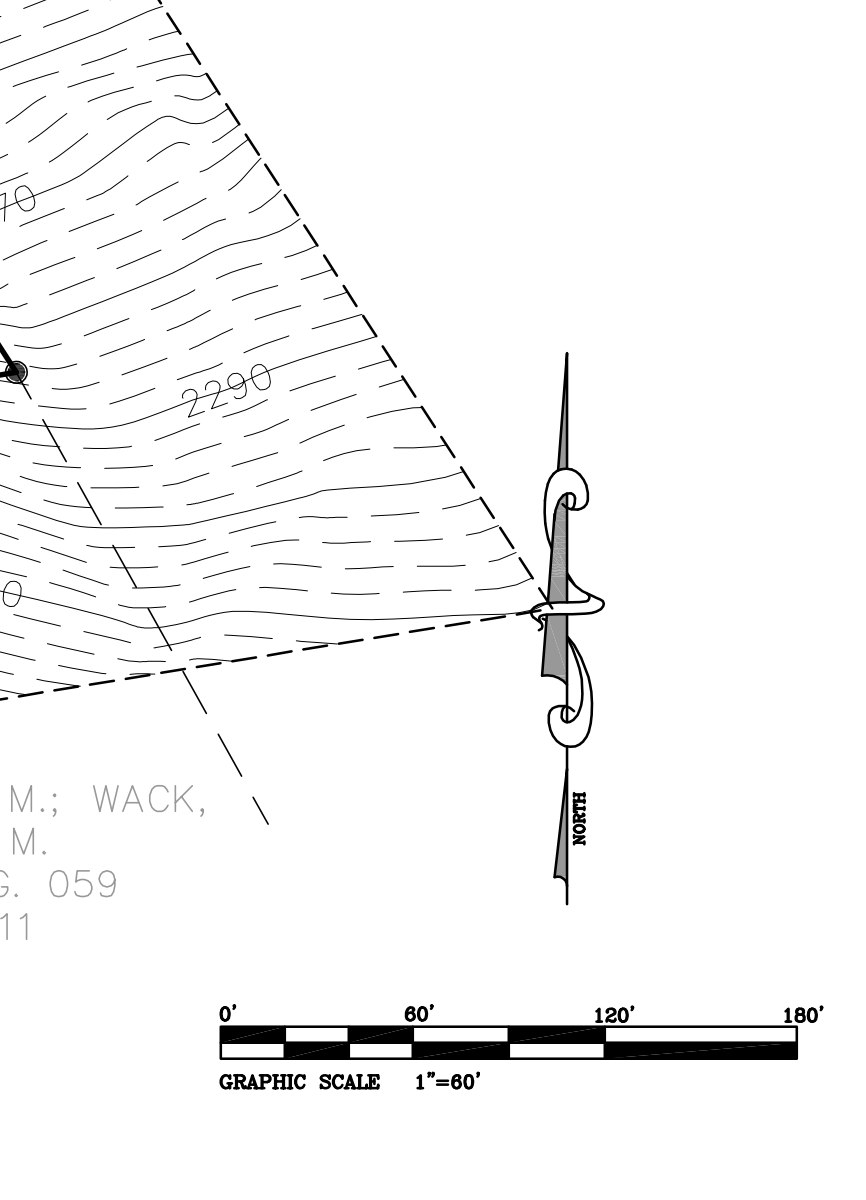
Sheet  
**C3**

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DEVELOPMENT DATA BLOCK	
OWNER/DEVELOPER:	SOUTH CREEK COTTAGES, LLC
CONTACT:	RICK MCCOBE
PHONE:	(828) 891-8900
ADDRESS:	103 MCDOWELL RD, MILLS RIVER, NC
PIN:	96620146LH358
PHYSICAL ADDRESS:	NO ADDRESS ASSIGNED
PROPERTY SIZE:	19.36 AC.
ZONING DISTRICT:	HENDERSON CITY RI
SETBACKS:	15' FRONT, 10' SIDE, 10' REAR
# OF LOTS:	21
PERVIOUS AREAS:	<p><b>PRE DEVELOPMENT:</b></p> <p>IMPERVIOUS AREA = 0 SQ. FT. (0 AC.) % SITE IMPERVIOUS = 0%</p> <p>PERVIOUS AREA = 843326 SQ. FT. (19.36 AC.) % SITE PERVIOUS = 100%</p> <p><b>POST DEVELOPMENT:</b></p> <p>IMPERVIOUS AREA = 502027 SQ. FT. (11.5 AC.) % SITE IMPERVIOUS = 5.95%</p> <p>PERVIOUS AREA = 793189 SQ. FT. (18.21 AC.) % SITE PERVIOUS = 94.05%</p> <p><b>INCREASE/DECREASE:</b></p> <p>INCREASE AREAS = 502027 SQ. FT. (11.5 AC.) % INCREASE = 5.95%</p>
LAND DISTURBANCE:	2465346 SQ. FT. (5.66 AC.)
SOIL TYPES:	40.2% T&B, 34.2% T&C, 12.5% HyC 8.6% EwE, 4.6% EwF
VOLUMES:	FILL: XX CU.YD. CUT: XX CU.YD.
<p>THESE NUMBERS ARE RAW NUMBERS AND ARE PROVIDED ONLY FOR THE GENERAL ESTIMATION OF THE AMOUNT OF THE PROJECT. THEY DO NOT TAKE INTO ACCOUNT REMOVAL OF TOPSOIL, UNSUITABLE SOILS, ROCK, DEBRIS, ETC., NOR DO THEY TAKE INTO ACCOUNT PROPER COMPACTION OF FILL MATERIAL. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES BASED ON THE INFORMATION PROVIDED. THE VOLUMES LISTED SHALL NOT BE CONSIDERED ACTUAL ESTIMATED FOR THE WORK OF THE PROJECT.</p>	

LEGEND	
	BOUNDARY PIN
	ADJOINING BOUNDARY
	RIGHT-OF-WAY
	UTILITY RIGHT-OF-WAY
	UTILITY POLE
	OVERHEAD UTILITY



Course	Bearing	Distance
L1	N 13°25'31" W	50.00'
L2	S 35°20'02" E	4.40'
L3	S 30°19'39" E	33.02'
L4	N 30°23'44" E	139.82'
L5	S 33°11'32" E	16.39'

L2-L4 are Tie Lines

**Site Development Plan For  
CHAPEL COVE  
SUBDIVISION**

HENDERSON COUNTY, NORTH CAROLINA

Job No.: 16129  
Date: December 8, 2016  
Scale: 1" = 60'  
Revision:

Combined Master &  
Development Plan  
Grading, Stormwater,  
and Erosion Control

**Sheet  
C4**

DAVIS CIVIL SOLUTIONS, P.A.  
Site/Infrastructure • Engineering/Planning  
1515 Highway 101, Suite 100, North Carolina 28601  
828-295-5489 FAX • www.daviscivilsolutions.com

TAP EXISTING PUBLIC 6" WATER LINE LOCATED ON FOX CREEK DR. APPROX. 212' FROM BOUNDARY LINE WITH 6"X6"X8" TAPPING SLEEVE AND VALVE.

**Patty's Chapel Road**  
S.R. 1555, Paved

**Forsythia Hedge Dr**  
Paved  
30' ROW as per Plat Slides 2005 and 3405

**Fox Creek Dr**  
Public, Paved,  
50' ROW

60' ROW  
as per NCDOT

TULLOK, TIMOTHY N.;  
PENDLETON, MICHAEL C.;  
PENDLETON, ELIZABETH D.  
D.B. 1571 PG. 032

50' PSNC Gas Line ROW  
as per D.B. 338, Pg. 11

REILLY, THOMAS V.; REILLY,  
DONNA R.  
D.B. 578 PG. 615

REILLY, THOMAS V.; REILLY,  
DONNA R.  
D.B. 661 PG. 165

FELTS, JOHN A.  
D.B. 752 PG. 465

JAMES R. BAXLEY  
D.B. 1311 PG. 345  
SLIDE 6573

YOUNGBLOOD, DONNA M.;  
YOUNGBLOOD, JOSHUA T.  
D.B. 1136 PG. 573

SOLA, LINDA J. TRUSTEE; LINDA  
J. SOLA REVOCABLE TRUST  
D.B. 1626 PG. 304  
SLIDE 3409

WATKINS, ARLENE  
D.B. 2014E PG. 442

SOUTH CREEK COTTAGES,  
I LLC  
TRACT ONE  
D.B. 1497 PG. 300  
7.04 AC.

WACK, DAVID S.; WACK,  
NANCY A.  
D.B. 1062 PG. 720

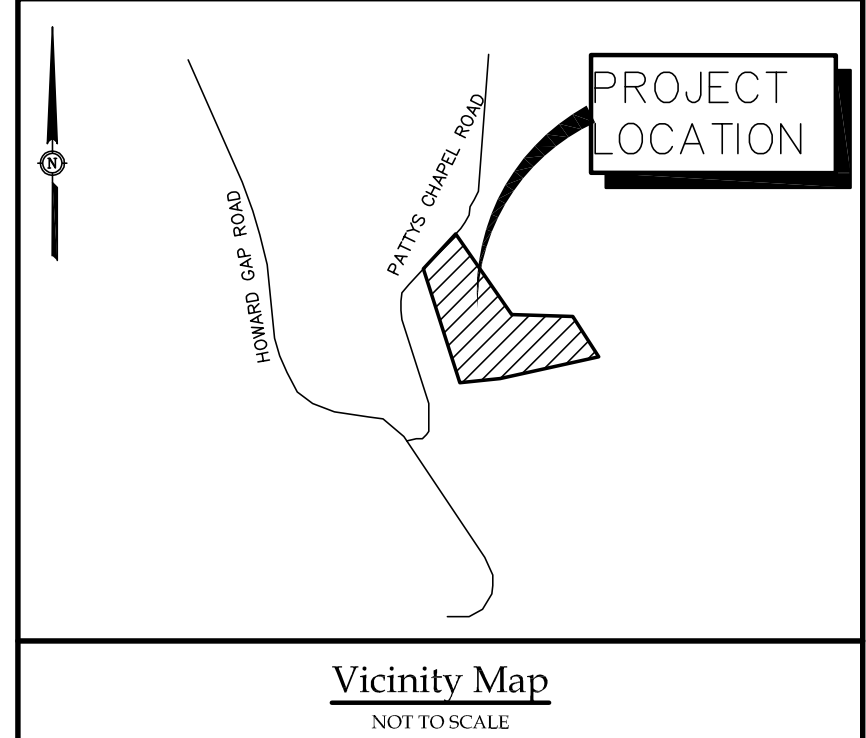
WACK, SCHUYLER M.; WACK,  
CHANDRA M.  
D.B. 1063, PG. 059  
SLIDE 3711

WHIDDEN, JEANNIE L.  
D.B. 930 PG. 291

Boundary Line Data

Course	Bearing	Distance
L1	N 13°22'53" W	50.00'
L2	S 33°20'02" E	4.40'
L3	S 30°59'39" E	33.02'
L4	N 30°23'44" E	139.82'
L5	S 33°11'32" E	18.39'

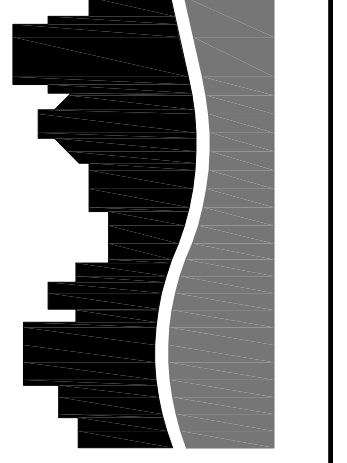
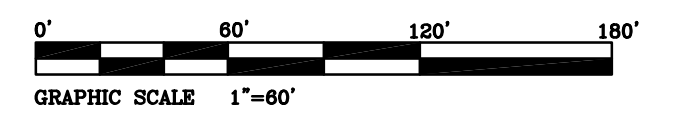
L2-L4 and Tie Lines



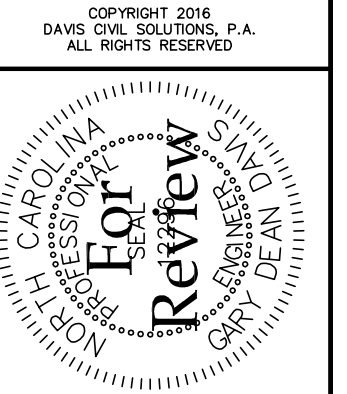
DEVELOPMENT DATA BLOCK

OWNER/DEVELOPER:	SOUTH CREEK COTTAGES, LLC
CONTACT:	RICK MCCOBE
PHONE:	(828) 891-8900
ADDRESS:	103 MCDOWELL RD, MILLS RIVER, NC
PIN:	9662-01-66L-B358
PHYSICAL ADDRESS:	NO ADDRESS ASSIGNED
PROPERTY SIZE:	19.36 AC.
ZONING DISTRICT:	HENDERSON CITY RI
SETBACKS:	15' FRONT, 10' SIDE, 10' REAR
# OF LINES:	21

- LEGEND
- UPO UTILITY POLE
  - BOUNDARY PIN
  - ADJOINER BOUNDARY PIN
  - OHU — OHU OVERHEAD UTILITY
  - R/O-W --- RIGHT-OF-WAY
  - S --- STREAM



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Site Development Plan For  
**CHAPEL COVE  
SUBDIVISION**  
HENDERSON COUNTY, NORTH CAROLINA

Job No.: 16129  
Date: December 8, 2016  
Scale: 1" = 60'  
Revision:

Combined Master &  
Development Plan  
Utilities



### SEEDING NOTES

#### PERMANENT SEEDING

##### LAWN SEEDING MIXTURE

SPECIES	RATE (LB/ACRE)
KENTUCKY BLUEGRASS (20%)	260 LBS.
REBEL FESCUE (80%)	

##### SEEDING DATES

MOUNTAINS	MARCH 15 – MAY 15
	AUGUST 15 – OCTOBER 15

##### SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

##### MULCH

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

##### MAINTENANCE

RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

##### SLOPE SEEDING MIXTURE

SPECIES	RATE (LB/ACRE)
VALDA HARD FESCUE	20 LBS.
ASTRO TALL FESCUE	8 LBS.
PENLAWN RED FESCUE	25 LBS.
PERENNIAL RYE	25 LBS.
KEN-BLU KENTUCKY BLUEGRASS	1.5 LBS.

##### SEEDING DATES

MOUNTAINS	MARCH 15 – MAY 15
	AUGUST 15 – OCTOBER 15

##### SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 400 LB/ACRE 18-46-50 FERTILIZER.

##### MULCH

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT.

##### MAINTENANCE

RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

#### TEMPORARY SEEDING FOR SUMMER

##### SEEDING MIXTURE

SPECIES	RATE (LB/ACRE)
GERMAN MILLET	40 LBS.

##### SEEDING DATES

MOUNTAINS	MAY 15 – AUGUST 15
PIEDMONT	MAY 1 – AUGUST 15
COASTAL PLAIN	APRIL 15 – AUGUST 15

##### SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

##### MULCH

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

##### MAINTENANCE

RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

NOTE-14

### SEEDING NOTES

#### TEMPORARY SEEDING FOR FALL

##### SEEDING MIXTURE

SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	260 LBS.

##### SEEDING DATES

MOUNTAINS	AUGUST 15 – DECEMBER 15
PIEDMONT	AUGUST 15 – DECEMBER 15
COASTAL PLAIN	AUGUST 15 – DECEMBER 30

##### SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

##### MULCH

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

##### MAINTENANCE

REPAIR AND RE-FERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

#### TEMPORARY SEEDING FOR WINTER & EARLY SPRING

##### SEEDING MIXTURE

SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120 LBS.
ANNUAL LESPEDEZA (KOBE IN MOUNTAINS & COASTAL PLAIN, KOREAN IN MOUNTAINS)	50 LBS.

##### SEEDING DATES

MOUNTAINS (ABOVE 2,500')	FEBRUARY 15 – MAY 15
MOUNTAINS (BELOW 2,500')	FEBRUARY 1 – MAY 1
PIEDMONT	JANUARY 1 – MAY 1
COASTAL PLAIN	DECEMBER 1 – APRIL 15

##### SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

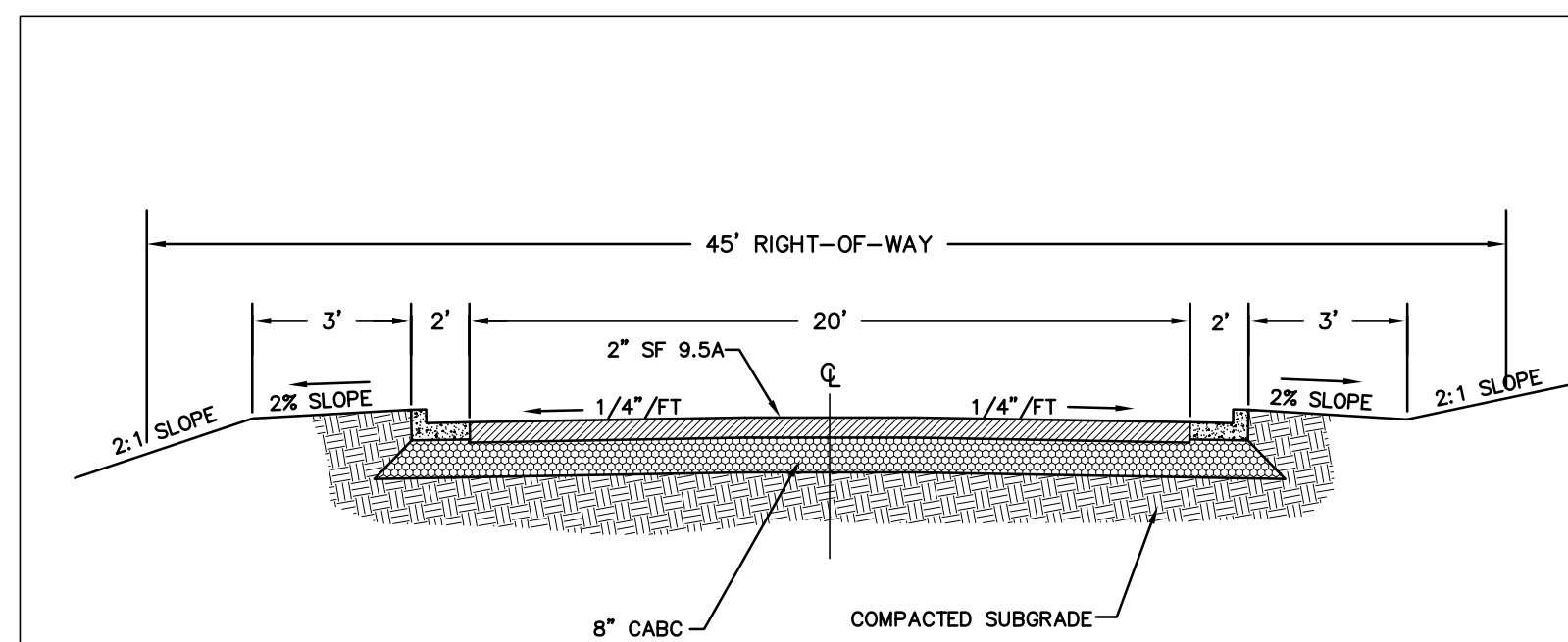
##### MULCH

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

##### MAINTENANCE

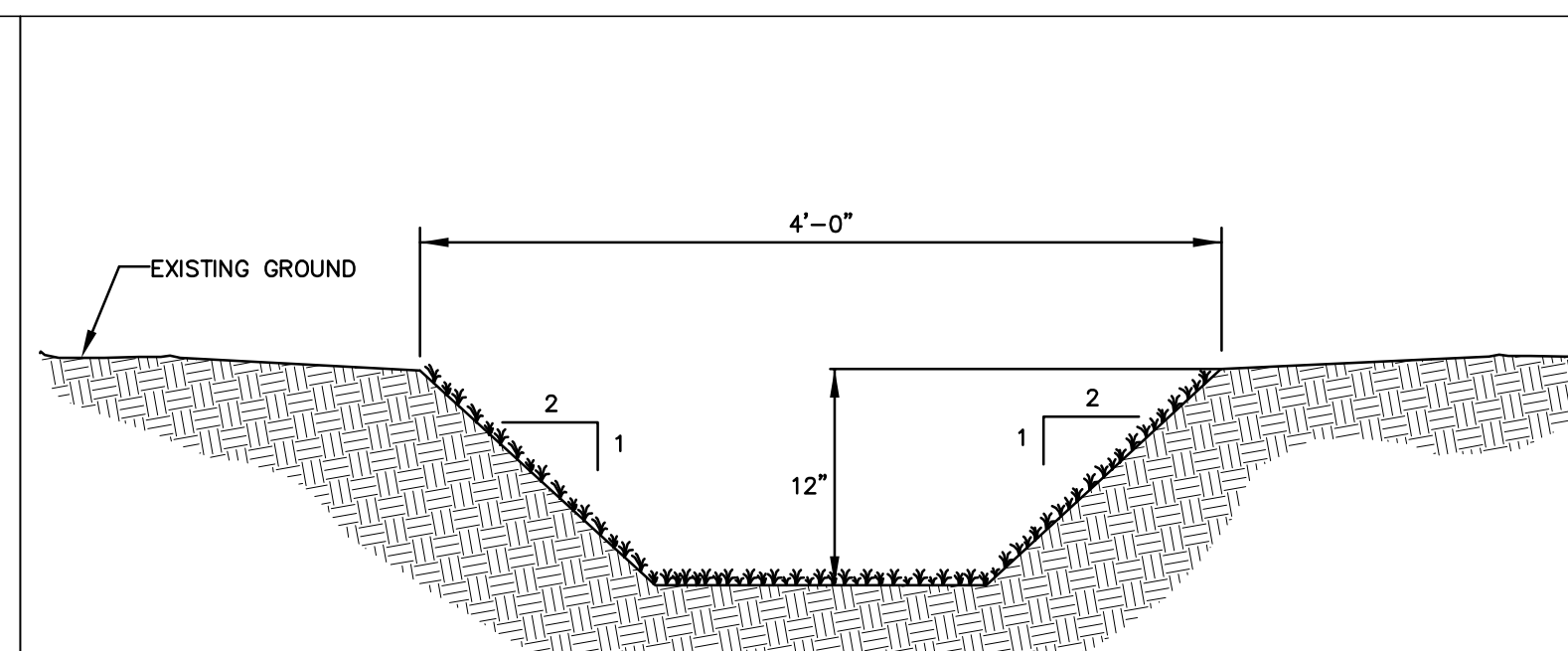
RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

NOTE-15



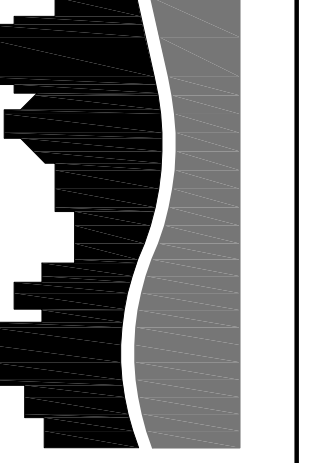
TYPICAL ROAD CROSS-SECTION  
WITH CURB AND GUTTER  
NOT TO SCALE

ST-1



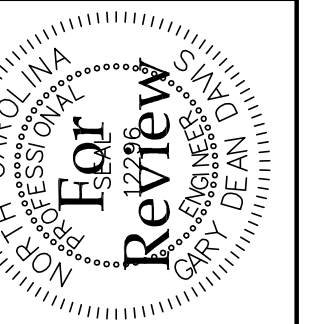
GRASS LINED DITCH  
NOT TO SCALE

EC-52



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Job No.: 16129  
Date: December 8, 2016  
Scale: NTS  
Revision: