

Staff Report: Fletcher Autobody, LLC

**REQUEST FOR COMMITTEE ACTION**  
HENDERSON COUNTY  
Technical Review Committee

**MEETING DATE:** October 7, 2014

**SUBJECT:** Major Site Plan Review for an auto body shop located at 48 Heritage Park Drive off Hendersonville Road

**PRESENTER:** Toby Linville, Code Enforcement Director

**ATTACHMENTS:**

1. Staff Report
2. Photographs
3. Site Plan

**SUMMARY OF REQUEST:**

Major site plan review for an automobile and equipment service business.

**Suggested Motion:**

I move to approve the automobile and equipment service site plan for Fletcher Autobody, LLC.



## Henderson County, North Carolina Code Enforcement Services

### **1. Board Request**

- 1.1. **Applicant:** Fletcher Autobody, LLC
- 1.2. **Request:** Major Site Plan Review-Automobile and Equipment Service
- 1.3. **PIN:** 9652-21-6832
- 1.4. **Size:** 1.27 acres +/-
- 1.5. **Location:** The subject area is located at 48 Heritage Park Drive off Hendersonville Road
- 1.6. **Supplemental Requirements:**

#### **SR 6.2. Automobile and Equipment Service (Including all car service related uses with bays)**

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Separation. An *automobile and equipment service* shall not be constructed or newly located within 50 feet of an existing *dwelling unit* (located in a *residential zoning district* and not located on the same property as the *use*), *school*, *library*, day care facility, healthcare facility, *park*, and/or *religious institution*.
- (4) Operations. Auto inspection stations and tire recapping shall be permitted as *accessory uses* provided each is conducted within an enclosed *structure* and that neither is the principal business.

Map A: Aerial Photo/Pictometry

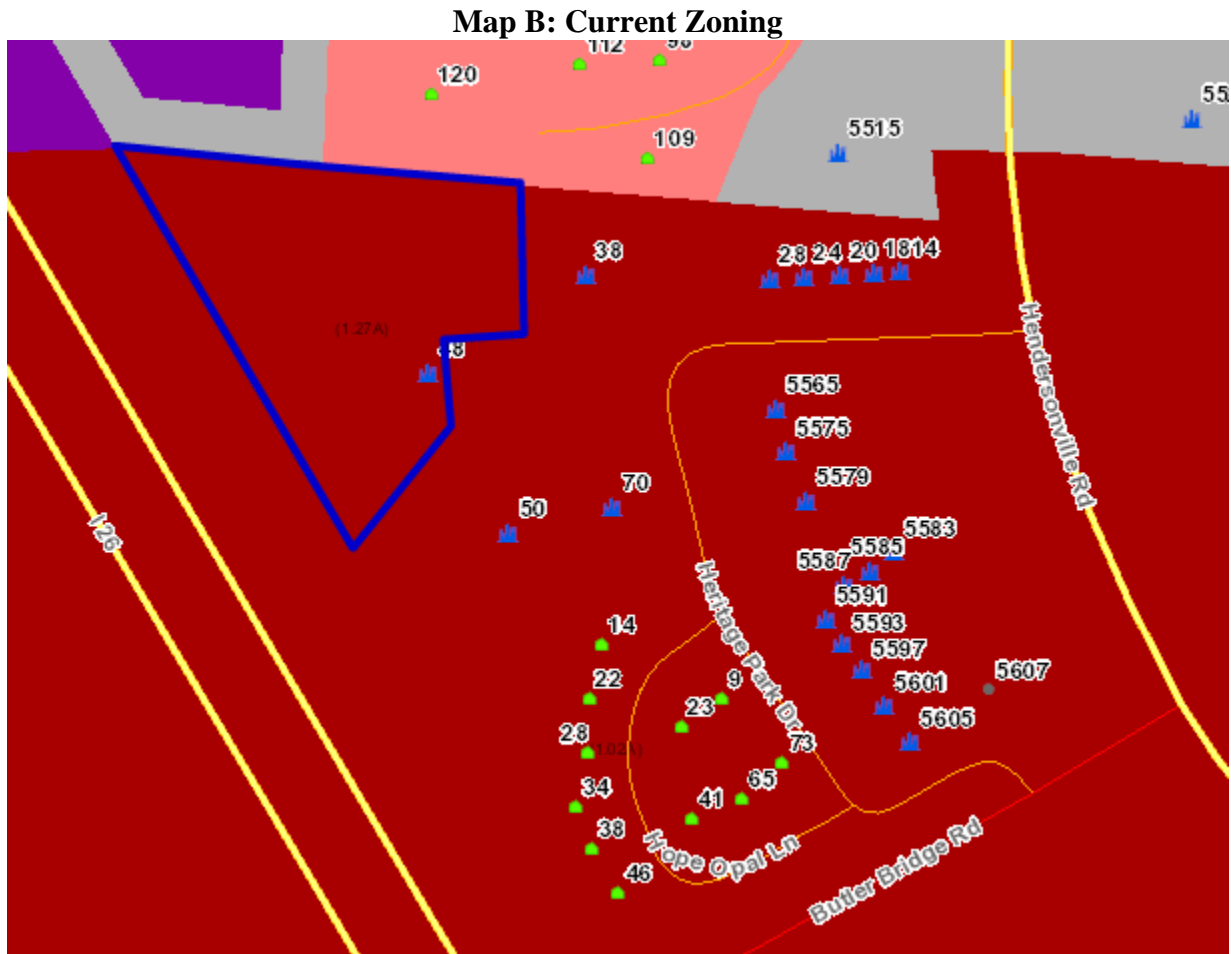


2. **Current Conditions**

2.1 **Current Use:** This parcel is currently vacant.

2.2 **Adjacent Area Uses:** The surrounding properties consist of residential and commercial uses.

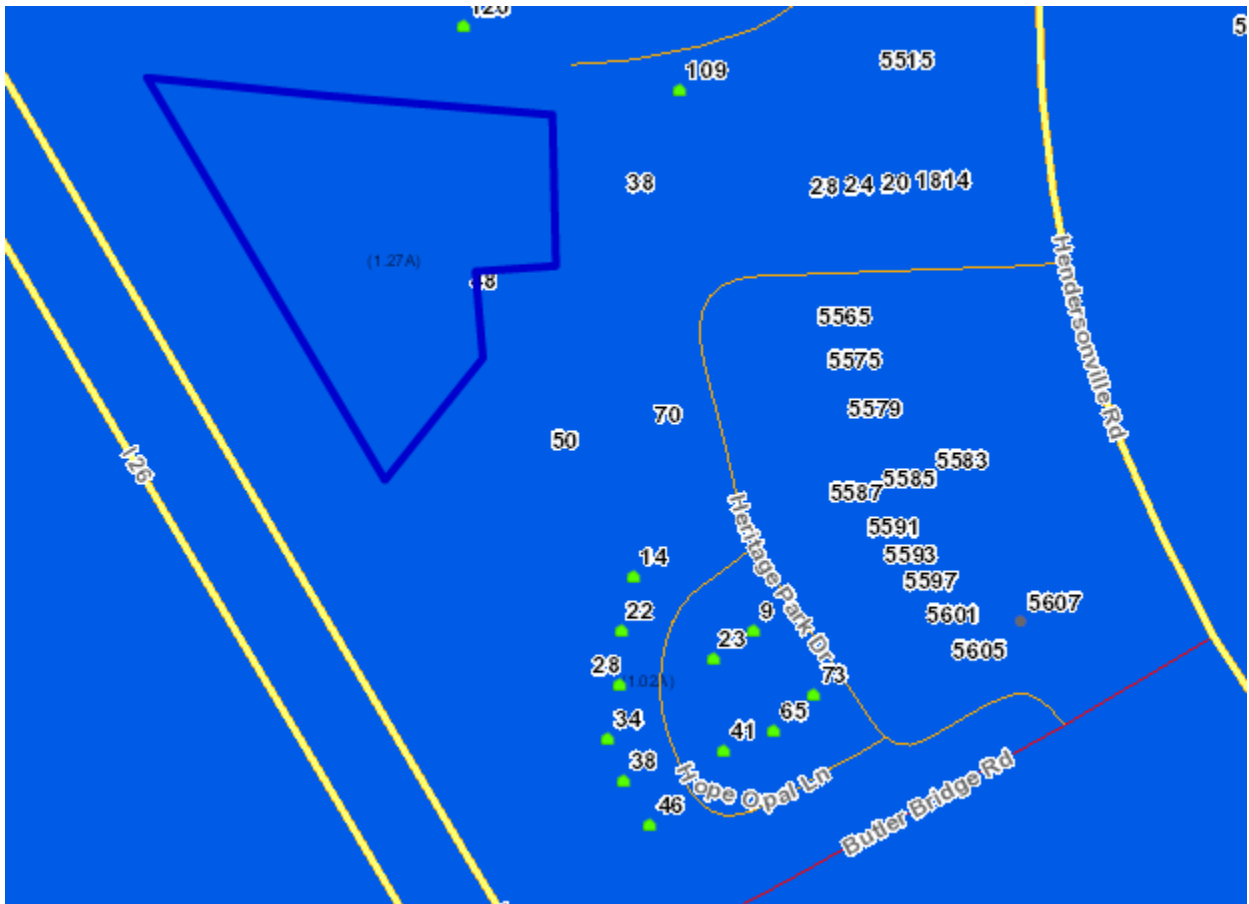
2.3 **Zoning:** The surrounding property to the north is zoned Industrial (I), Local Commercial (LC), and Town of Fletcher Zoning. The property to the east, west, and south is zoned Regional Commercial (RC).



3. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

4. **Water and Sewer** Hendersonville Public Water and Sewer serve this property.

### Map C: CCP Future Land Use Map



#### 5. Staff Comments

**The 2020 CCP:** The CCP Future Land Use Map places the Subject Area in the Community Service Center Area classification. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

**Community Service Centers** are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. Community Service Centers are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and Community Facilities such as schools, parks, community centers, and other similar Community Facilities. The mixture and intensity of land uses contained within Community Service Centers are intended to be appropriate within the context of the surrounding community and intended service area. Community Service Centers should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures.

#### 6. Staff Recommendations

Staff's position at this time, under the guidelines of current plans, policies and studies, is to recommend approval of the major site plan because it is consistent with the current surrounding land uses and future land use recommendations.

#### 7. Photographs







golden standard  
100% irresistible  
Open 24 Hours  
Exits 40 & 33

TYSON  
FURNITURE  
EAST - EXIT 64  
BLACK MOUNTAIN



PREPARED FOR:  
 Fletcher Autobody, LLC  
 Walt Millard  
 39113 Griffin Landing  
 Lady Lake, FL 32159  
 828-551-3391  
 wmillard56@centurylink.net

CONTRACTOR:  
 Brock Builders, Inc.  
 Chris Brock  
 1854 Hendersonville Rd #208  
 Asheville, NC 28803  
 828-243-6105  
 chris@brockbuildersinc.com

# FLETCHER AUTOBODY, LLC

## 50'x160' COMMERCIAL BUILDING 48 Heritage Park, Fletcher, NC

### SUMMARY OF DESIGN CRITERIA for COMMERCIAL BUILDING UPFIT

Name of project: FLETCHER AUTOBODY, LLC  
 Address: 48 Heritage Park (Lot 4R), Fletcher, NC  
 Proposed Use: Autobody Repair Shop with Office  
 (Shop Area; F-1 Occupancy & Office Area; B Occupancy)  
 Owner/Contact: Walt Millard Phone: 828-551-3391  
 Code Enforcement Jurisdiction: Henderson County, NC

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE#	TELEPHONE#
Architectural	Kirby Building Systems		
Electrical	Terry E. Allen	22538	828-877-4883
Plumbing	Terry E. Allen	22538	828-877-4883
Mechanical	Terry E. Allen	22538	828-877-4883
Structural	Kirby Building Systems		
Sprinkler			
Fire Alarm			

YEAR EDITION OF CODE: 2012

New Construction  Renovation (Existing Bldg)  Upfit  Alteration

BUILDING DATA:

Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  
 IV  V-A  V-B  VI(UP)

Mixed construction:  No  Yes Types \_\_\_\_\_

Sprinklers:  No  Yes  NFPA 13  NFPA 13R  NFPA 13D

Standpipes:  No  Yes Class  I  II  III  WET  DRY

Fire District?  Yes  No

Building Height: 16' ft. No. of Stories: 1

Mezzanine?  Yes  No

High Rise?  Yes  No

Gross Building Area:

Floor	Foot Print (Sq.Ft.)	Floor	Foot Print (Sq.Ft.)
Main Level - 8,000			
<b>TOTAL GROSS AREA:</b>	<b>8,000 sq.ft.</b>		

Area Increase?  Yes  No Code Refr.: \_\_\_\_\_

If yes, calculations:

If = Area Increase due to frontage  
 F = 800 perimeter from public way  
 W = Min width of public way  
 A1 = Labor Area from ICC Tab 503  
 Is = Area Increase due to sprinkler protection, calculated per ICC Section 506.3  
 A2 = Allowable area per floor (sq ft)

ALLOWABLE AREA (Shop Area; F-1 Occupancy & Office Area; B Occupancy)

Primary Occupancy:  Business  Educational  Mercantile  
 Assembly  Factory-Industrial  Institutional (unrestrained)  
 Hazardous  Storage  
 Institutional (restrained) Use Condition:  
 Residential

Secondary Occupancy: Storage

Mixed Occupancy?  Yes  No Separation: \_\_\_\_\_ 3 hr.  
 Non-Separated Mixed Occupancy  
 Separated Mixed Occupancy

FIRE RESISTANCE RATINGS: Identify code section when using any special exceptions, etc.

Party/Firewalls:	Required Hourly	Detail # & Sheet #	% Wall Opening	Design # for Rated Assemblies	Code Refr. for Exceptions
Exterior Bearing Walls:					
	North				
	East				
	West				
	South				
Ext. Non-Bearing Walls:					
	North				
	East				
	West				
	South				

Interior Walls:	Non-bearing Bearing	Required Hourly	Detail # & Sheet #	Design # for Rated Assemblies	Design # for Rated Penetrations
		3 Hr.	1/L1	UL426	
	Tenant Separation				

Ceiling-Floor Assembly:

Beams:

Columns:

Ceiling-Roof Assembly:

Vertical Shafts: none/ Elevators/ atrium

Chases-P.M.E.:

Mixed Occupancy Separation:	Required Hourly	Detail # & Sheet #	Design # for Rated Assemblies	Design # for Rated Penetrations
	3 Hr.	1/L1	UL426	

Tenant Separation:

Notes:  
 \* Wall Opening is required if wall to property line or assumed line is less than 30 feet.  
 All fire rated walls shall be identified on plans by hatching, shading, etc. show legend.  
 Details or reproductions of rated assemblies/penetrations shall be incorporated on the drawings.  
 ULL= Underwriters Laboratories FM= Factory Mutual Research Corp.

LIFE SAFETY SYSTEM:

Emergency Lighting and Exit Signs?  Yes  No

Fire Alarm and Smoke Detections Systems?  Yes  No

Panic Hardware?  Yes  No

EXIT REQUIREMENTS:

Dead end limit - maximum condition 80 Feet

Travel distance to exit - maximum condition 80 Feet

Number of exits:

Total Square footage of floor \_\_\_\_\_  
 Divided by net/sq.ft. per occupancy \_\_\_\_\_  
 = Total number of people on floor: \_\_\_\_\_

Number of doors Provided: 3 Doors Required: 3

DESIGN LOADS: **SEE BUILDING SHELL DRAWINGS BY KIRBY BUILDING SYSTEMS FOR STRUCTURAL DESIGN LOADS**

Roof live load: \_\_\_\_\_ psf

Wind: Zone: \_\_\_\_\_ mph Importance Factor: I  
 ASCE-7: \_\_\_\_\_ Exposure C

Floor: \_\_\_\_\_ psf

Snow: \_\_\_\_\_ psf

Lateral design Control: Earthquake \_\_\_\_\_ Wind \_\_\_\_\_

SEISMIC PERFORMANCE CATEGORY A  
 Compliance with Section 1607.3.6.1.1 Ties and continuity? \_\_\_\_\_

SEISMIC PERFORMANCE CATEGORY B & C

Effective peak velocity-related acceleration: Av: \_\_\_\_\_

Peak acceleration coefficient: Aa: \_\_\_\_\_

Seismic Hazard Exposure Group S.H.E.G.: \_\_\_\_\_

Importance Seismic: \_\_\_\_\_

Site Coefficient (Fa\*Ss): \_\_\_\_\_ (Fa\*Ss): \_\_\_\_\_

BASIC STRUCTURAL SYSTEM (Check one)

Bearing Wall  Dual w/ Special Moment Frame  
 Building Frame  Dual w/ Intermediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum

MODAL ANALYSIS PROCEDURE

Modal base shear:  $V_t = \frac{N.A.}{V} = \frac{N.A.}{N.A.}$

ELF procedure base shear:  $V = \frac{N.A.}{V} = \frac{N.A.}{N.A.}$

Architectural, Mechanical, Components anchored per force Cc? \_\_\_\_\_

SOIL BEARING CAPACITIES:

Field Test: (provided copy of test report) \_\_\_\_\_ NA psf

Presumptive Bearing Capacity: \_\_\_\_\_ psf

Pile size, type, & capacity: \_\_\_\_\_ NA

PARKING SPACES:

Parking Spaces Required: 12 Total Spaces Provided: 12

Handicap Spaces Provided: 1

SPECIAL APPROVAL: (By Department of Insurance of by Local Jurisdiction, described below)

\_\_\_\_\_

\_\_\_\_\_

Test Reports available on Site  
 2500 PSF (Test Reports available on Site)

ENERGY REQUIREMENTS:

METHOD OF COMPLIANCE: Prescriptive  Performance  Energy Cost Budget

Climate Zone: 4  
 Metal Buildings (with R-5 thermal blocks)  
 Roof: R-19 + R-11 Linear System  
 Walls, Above Grade: R-13 + R-10 Linear System Continuous Insulation  
 Walls, Below Grade: R-7.5 Continuous Insulation  
 Floors, Unheated Slab-on-Grade, : R-15 for 24 inches  
 Doors, Swigup: U-0.50  
 Doors, Roolup or Sliding: U-0.50

BUILDING ENVELOPE REQUIREMENTS (Table 501.2(2))  
 2012 NCECC

ROOFS: R-11 + R-19 FC  
 DESCRIPTION:  
 Filled cavity fiberglass insulation.  
 A continuous vapor barrier is installed below the purlins and uninterrupted by framing members. Both layers of uncomressed, unfaced fiberglass insulation rest on top of the vapor barrier and are installed parallel, between the purlins. A minimum R-5 thermal spacer block is placed above the purlin/batt, and the roof deck is secured to the purlins. Drawings of typical details are shown in Appendix 2.2.

ROOFS: R-19+R11 Ls  
 DESCRIPTION:  
 Liner System with minimum R-5 thermal spacer block.  
 A continuous membrane is installed below the purlins and uninterrupted by framing members. Uncompressed, unfaced insulation rests on top of the membrane between the purlins. Drawings of typical details are shown in Appendix 2.2.

WALLS:  
 R-0 + R-13 ci  
 R-0 + R-19 ci  
 DESCRIPTION:  
 The second rated R-value is for continuous rigid insulation installed between the metal wall panel and steel framing, or on the interior of the steel framing. Drawings of typical details are shown in Appendix 2.2.

### INDEX TO DRAWINGS

T-1 TITLE SHEET  
 C-1 SITE PLAN  
 C-2 STORMWATER PLAN  
 C-3 STORMWATER DETAILS  
 C-4 STORMWATER PIPE PROFILES  
 EC-1 EROSION CONTROL PLAN  
 EC-2 EROSION CONTROL DETAILS  
 L-1 UPFIT FLOOR PLAN  
 P-1 UPFIT PLUMBING PLAN  
 M-1 UPFIT MECHANICAL PLAN  
 E-1 UPFIT ELECTRICAL PLAN (LIGHTING)  
 E-2 UPFIT ELECTRICAL PLAN (POWER)

GENERAL NOTES

- All work shall be in accordance with the latest edition of the North Carolina State Building Code, NC Accessible Code, NC Plumbing Code, NC Mechanical Code, National Electrical Code (NCE), NDS for Wood Construction (Latest Edition), OSHA Safety & Health Requirements, and all other applicable codes, ordinances and requirements.
- Locate flag and protect all existing utilities prior to beginning work. Field verify and confirm all dimensions prior to beginning work or ordering materials.
- Contractor shall verify and establish all Finish Floor Elevations (FFE) prior to beginning work. Do not locate any part of the structure within any set-back, easement, right-of-way, floodway or flood fringe. Contractor shall obtain all required permits prior to beginning work. Contractor shall locate all property boundaries prior to beginning work. Contractor shall locate, flag and protect all underground utilities prior to beginning work. Do not locate any part of the work within any right-of-way, set back, encroachment, easement, trout stream buffer zone (or other buffer zone or set back).
- The Building Shell Plans, Foundation Plans, and Fire Alarm System are to be designed by others. By accepting these plans, you and any others to whom it is distributed, agree to a strict limitation of liability for Terry E. Allen PE, T.E. ALLEN ENGINEERING, P.C., and its employees to an amount not to exceed the fee paid in hand.
- Egress Stairs, landing and access door to the Attic Space/Mechanical Room above Office Area shall be designed and located by the Building Designer.

Preliminary  
 Not for  
 Construction

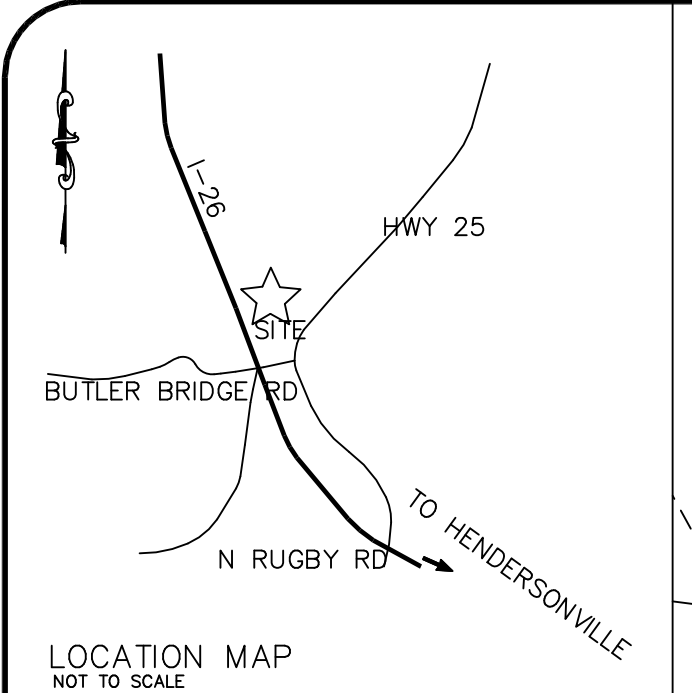
T.E. ALLEN ENGINEERING PC  
 CONSULTING ENGINEERS •  
 FIRM # C-1997  
 PO BOX 103  
 ROSMAN, NORTH CAROLINA 28772  
 (828) 877-4883  
 MOBILE (828) 553-3004  
 email: teal@alleneng.com

BUILDING UP-FIT PLAN  
 FLETCHER AUTOBODY, LLC  
 48 Heritage Park (Lot 4R)  
 Fletcher, Henderson County, NC

Vertical Scale:  
 NONE

Horizontal Scale:  
 NONE

Issue Date:  
 08-30-2014



ROCKWELL HEAVY VEHICLE SYSTEMS, INC.  
D.B. 911, PG. 574  
SLIDE 7092

WATLEY/LONG/TIMBERS  
D.B. 1306, PG. 666

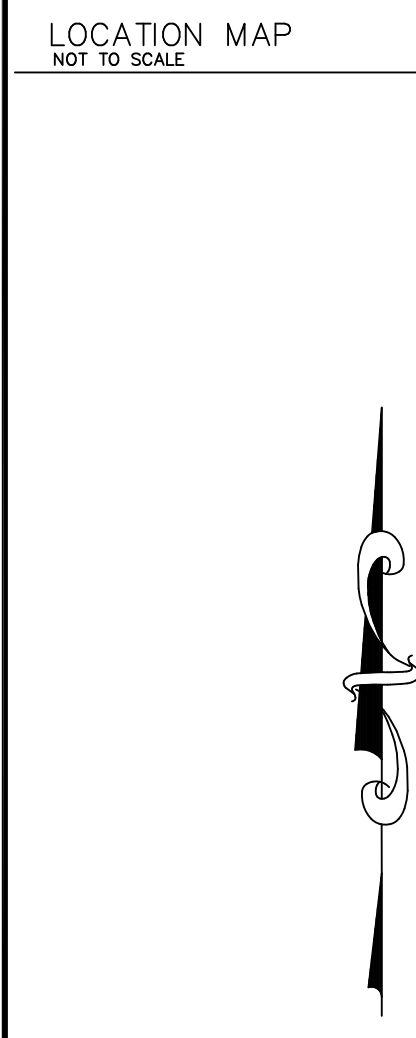
PREPARED FOR:  
Fletcher Autobody, LLC  
Walt Millard  
39113 Griffin Landing  
Lady Lake, FL 32159  
828-551-3391  
wmillard56@centurylink.net

CONTRACTOR:  
Brock Builders, Inc.  
Chris Brock  
1854 Hendersonville Rd #208  
Asheville, NC 28803  
828-243-6105  
chris@brockbuildersinc.com

SETBACKS  
The setbacks have been confirmed by Henderson County Planning. The property is in RC zoning.  
Front or R/W = 10-Ft  
Sides & rear = 10-Ft

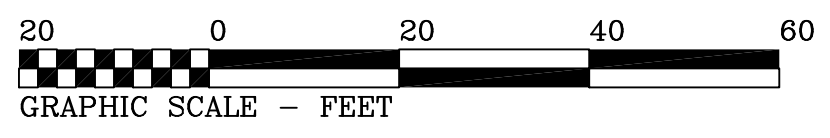
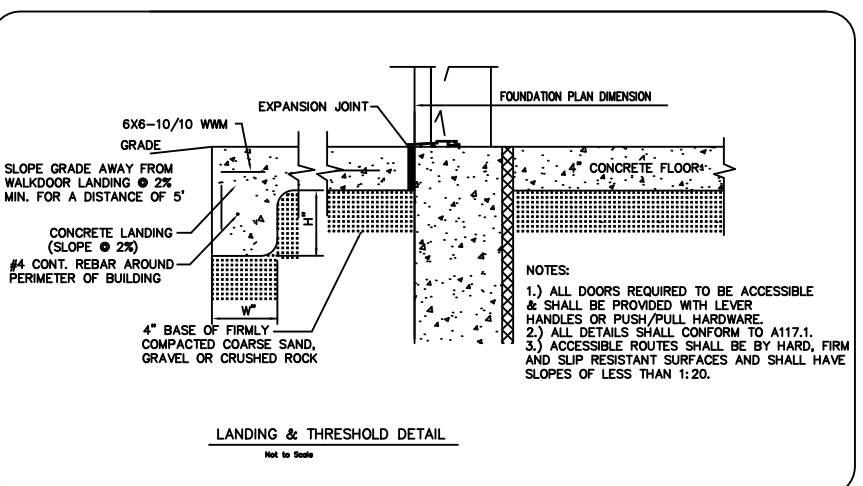
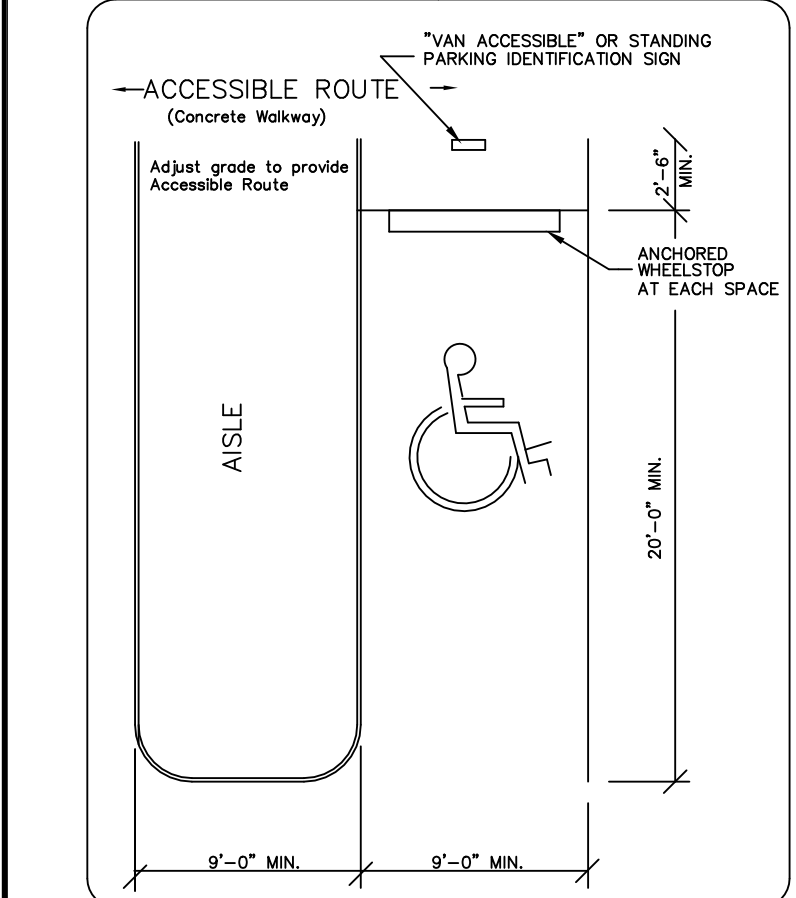
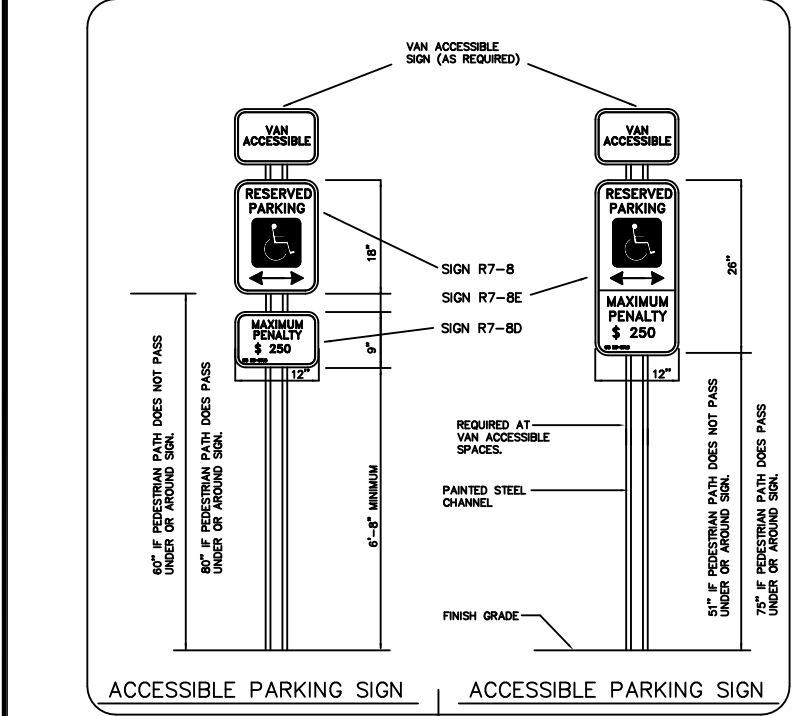
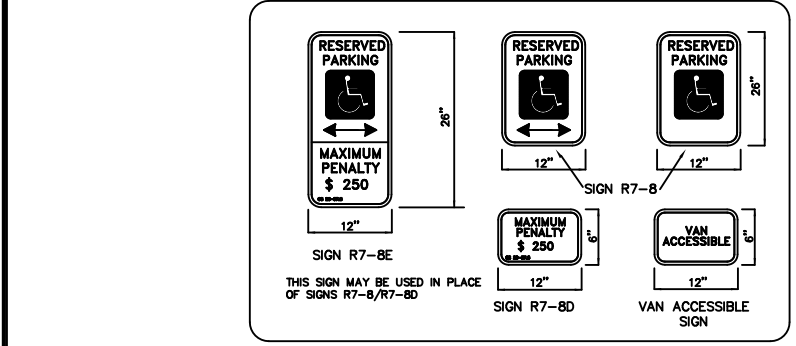
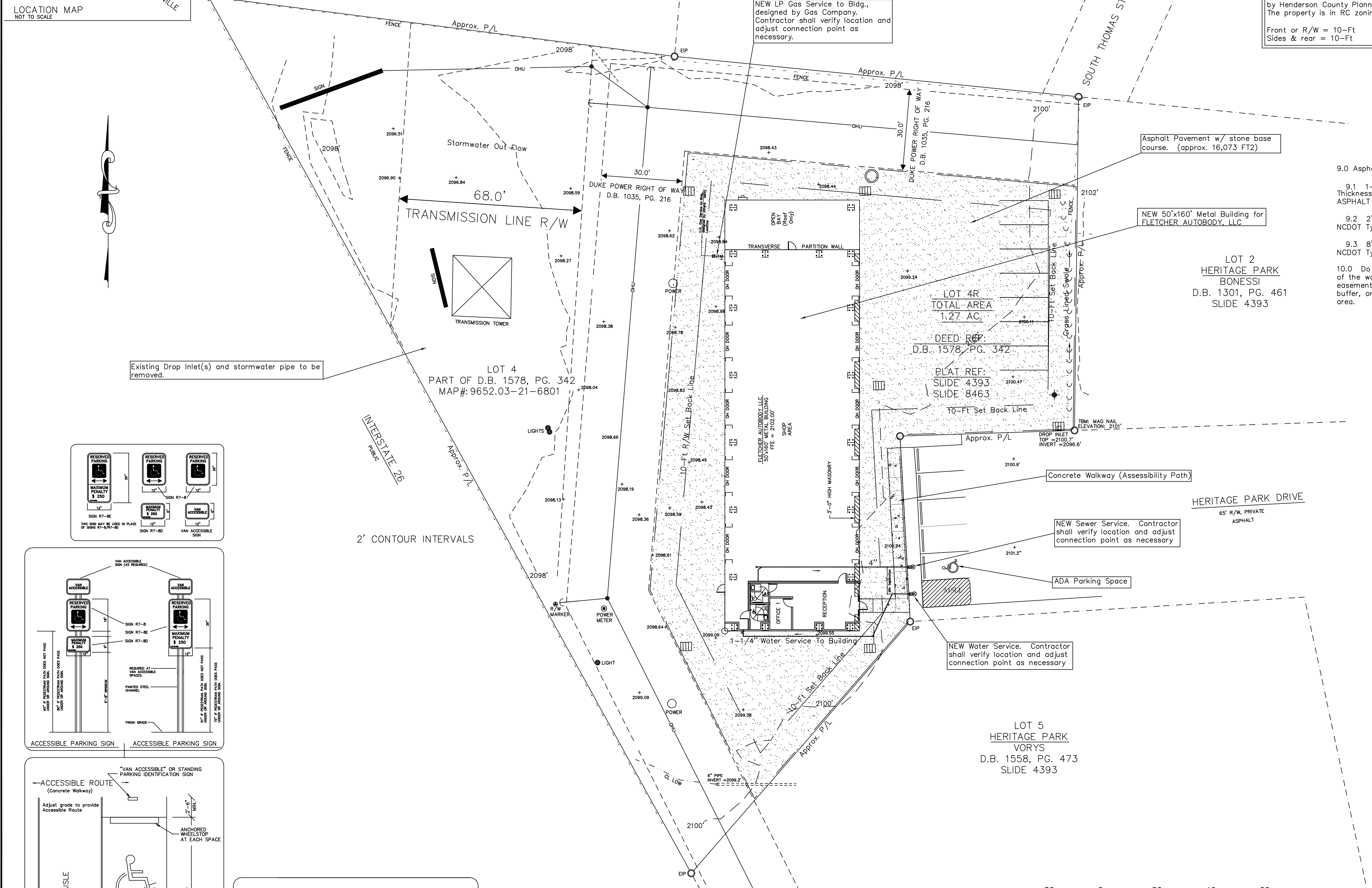
SCOPE -OF-WORK  
This project consists of the construction of one 50'x160' Metal Building for Fletcher Autobody, LLC, complete with parking lot, utilities, and stormwater drainage system. The proposed erosion control features are to be maintained until the disturbed area is stabilized. The total disturbed area will not exceed 0.56 Acres.  
Furnish and install all required temporary erosion control measures prior to beginning any land disturbing activity. All temporary erosion control measures shall be removed after the site has been stabilized.  
Remove all existing construction debris and abandon underground utilities. Strip and remove all top soil and vegetation down to satisfactory insitu material having a minimum bearing capacity of 2000 psf (or 12-inch minimum, whichever is greater). Compact subgrade to 100% of its maximum dry density.  
Furnish and install aggregate base course (NCDOT Type ABC Stone) to the desired subgrade elevation. Finish grade shall be sloped to drain to the stormwater drop inlets as shown.  
Furnish and install 12'x4'x6" concrete pad outside each overhead door at shop area.  
Furnish and install 5'x20'x4" concrete walkway and 20'x20'x6" concrete parking pad for ADA accessibility.  
Furnish and install stormwater management system as shown herein and in accordance with Henderson County Stormwater requirements.  
Furnish all required utilities including, but not limited to; water service line to building, sewer service line to building, electrical service, gas, telephone, and data.  
Furnish and install asphalt pavement surface course or compacted stone surface course where permitted by Code or local ordinance (as directed by the Owner).

GENERAL NOTES:  
1.0 The topographic and boundary information shown on this plan was provided by David C. Huntley & Associates, Inc., 775 Maple St., Hendersonville, NC 28792, telephone 828-693-8077.  
2.0 All work shall be in accordance with the latest edition of the North Carolina State Building Code, Henderson County Stormwater Ordinance, NCDENR-DR Sedimentation & Erosion Control requirements, OSHA Safety Requirements, ACI 301 - Specifications for Structural Concrete for Buildings; ACI 318 - Building Code Requirements for Structural Concrete; AISC Steel Construction Manual, and all other applicable codes, ordinances, and regulations. All excavations shall be shored where required by OSHA.  
3.0 Contractor shall obtain all required permits prior to beginning work. Locate and protect all utilities, including water, sewer, electrical & gas prior to beginning work. Verify all dimensions, grade elevations, invert elevations and finish floor elevation. Adjust elevations as necessary to insure positive drainage. The Building FFE shall be a minimum of 6" above grade. All entrance ways and egress paths, walks, and exits shall be ADA compliant. Coordinate all work with the Architectural Plans prepared by others.  
4.0 MATERIALS:  
4.1 CONTECH PIPE ARCH & STORMWATER FILTER shall be in accordance with the CONTECH Manufacturer's written instructions and NCDENR approval requirements.  
4.2 REINFORCING STEEL. All reinforcing steel and anchor dowels shall conform to ASTM A 615, Grade 60 and shall have standard deformations. All footer reinforcing bars shall have a minimum of 3" of concrete cover. All rebar lap splices shall be 60 bar diameters unless otherwise noted. All footer steel shall be bonded and grouted per the NEC.  
4.3 CONCRETE. Concrete shall have a minimum compressive strength of 4000 psi at 28 days and shall have 5 to 7% entrained air.  
4.4 PIPE. All stormwater pipe, not provided or specified by CONTECH shall be traffic rated HDPE (or HP N12) by ADS or equal.



LOCATION MAP NOT TO SCALE

Existing Drop Inlet(s) and stormwater pipe to be removed.



1 SITE PLAN  
Scale: 1" = 20'

Area was determined by Coordinate Computation.

- 9.0 Asphalt Pavement
- 9.1 1-1/2" Compacted Thickness of NCDOT Type S9.5B ASPHALT Surface Course,
- 9.2 2" Compacted Thickness of NCDOT Type 1 19.0B Binder Course,
- 9.3 8" Compacted Thickness of NCDOT Type ABC Stone Base
- 10.0 Do not locate any portion of the work in any Right-of-Way, easement, set-back, environmental buffer, or environmentally sensitive area.

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- 3.0 Contractor shall obtain all required permits prior to beginning work. Locate and protect all utilities, including water, sewer, electrical & gas prior to beginning work. Verify all dimensions, grade elevations, invert elevations and finish floor elevation. Adjust elevations as necessary to insure positive drainage. The Building FFE shall be a minimum of 6" above grade. All entrance ways and egress paths, walks, and exits shall be ADA compliant. Coordinate all work with the Architectural Plans prepared by others.
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4.4 PIPE. All stormwater pipe, not provided or specified by CONTECH shall be traffic rated HDPE (or HP N12) by ADS or equal.
- 4.5 CATCH BASINS. NCDOT Precast Concrete Catch Basins shall be used throughout with standard metal Grates and Frames. Catch Basins, Grates and Frames shall be Traffic Rated, H-20 minimum. All concrete shall be Class B.
- 5.0 LOADING. H20/H25
- 6.0 UNDERGROUND UTILITIES. There are numerous underground utilities in the work area that are not shown. The Contractor shall locate, flag and protect all underground and above ground utilities prior to beginning work. All damage to existing features-of-work (i.e., utilities, structures, landscaping, etc.) shall be repaired at the Contractor's expense.
- 7.0 SITE PREPARATION  
7.1 The site shall be graded to the lines and grades shown on the Grading Plan (designed by others). After the required subgrade elevations have been established, excavate for the subsurface stormwater system as shown.  
7.2 All stormwater components and stone fill shall be placed on satisfactory subgrade material having a minimum soil bearing capacity of 2000 psf. WHERE UNSATISFACTORY MATERIAL IS ENCOUNTERED, OVER EXCAVATE TO THE DEPTH NECESSARY TO REMOVE ALL UNSATISFACTORY AND ORGANIC MATERIAL. EXPOSED SUBGRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 2000 PSF. LINE EXCAVATION WITH MIRAFI 500X GEOTEXTILE FABRIC (OR EQUAL), INSTALL SUBSURFACE STORMWATER SYSTEM AND BACKFILL W/ #57 CLEAN STONE. COVER STONE W/ MIRAFI 500X AND PLACE SURFACE COURSE AT DESIRED ELEVATION. DE-WATER AS NECESSARY TO INSTALL SUBSURFACE STORMWATER SYSTEM, GEOTEXTILE FABRIC, STONE. DE-WATERING MAY REQUIRE THE USE OF SUMP PUMPS AND/OR A WELL POINT SYSTEM.  
8.0 The Contractor shall furnish and install all required erosion control measures necessary to prevent off-site sedimentation. Ground cover shall be established on all disturbed areas within 7 calendar days following completion (or temporary suspension) of any phase of grading. The erosion & sedimentation control features shall be revised and adjusted as necessary to prevent off site sedimentation and to prevent increased turbidity in streams and surface waters. The turbidity of surface water shall not exceed background (preconstruction) levels at any time during development. Erosion control features shall be installed prior to beginning other land disturbing activities. A 10 foot undisturbed buffer zone is required around all surface waters. See Erosion Control Plan on Sheets EC-1 & EC-2.

- LEGEND
- EIP EXISTING IRON PIN
  - NIP NEW IRON PIN
  - PT UNMARKED POINT
  - CONC. MON. CONCRETE MONUMENT
  - PP POWER POLE
  - LP LIGHT POLE
  - C CENTER LINE
  - R/W RIGHT OF WAY
  - CONC. CONCRETE
  - REF. REFERENCE
  - OHU OVERHEAD UTILITIES
  - POST

SPECIAL CONDITIONS:  
All structural building plans and land surveying were performed by other By accepting this Plan, you and any others to whom it is distributed, agree to a strict limitation of liability for Terry E. Allen PE, T.E. ALLEN ENGINEERING, P.C., and its employees to an amount not to exceed the fee paid in hand.

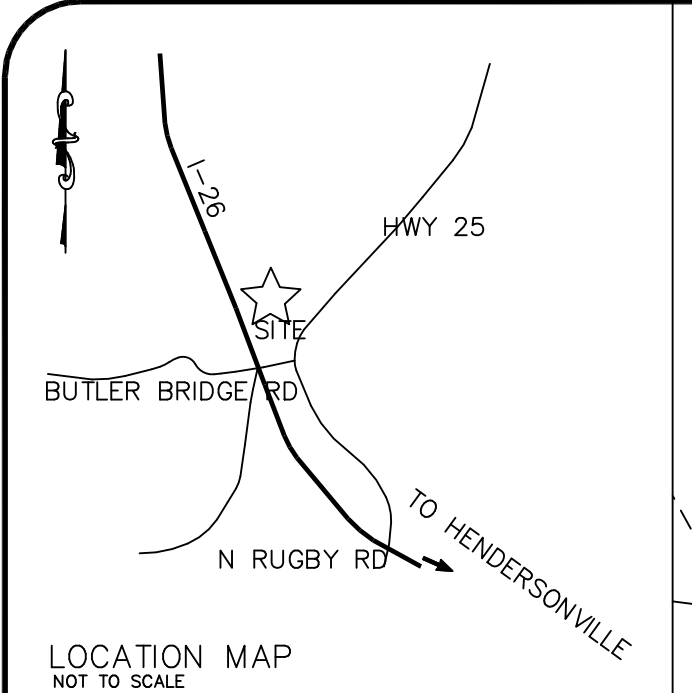
Preliminary  
Not for  
Construction

T.E. ALLEN ENGINEERING PC  
CONSULTING ENGINEERS  
FIRM # C-1997  
PO BOX 103  
ROSMAN, NORTH CAROLINA 28772  
(828) 877-4883  
MOBILE (828) 553-3004  
email: ted@alleneng.com

SITE PLAN  
FLETCHER AUTOBODY, LLC  
48 Heritage Park (Lot 4R)  
Fletcher, Henderson County, NC

Vertical Scale:  
NONE  
Horizontal Scale:  
NONE  
Issue Date:  
08-30-2014

C-1  
SHEET 2 OF 12



**REGULATORY REQUIREMENTS.** The Stormwater System and its maintenance and operation shall meet the following requirements:

§42-241. Structural and Nonstructural Stormwater BMPs Maintenance

§42-241.1 Dedication of BMPs, Facilities and Improvements The County may, but is not obligated to, accept dedication of any existing or future stormwater management facility for maintenance, provided such facility meets all the requirements of Subpart B and includes adequate and perpetual access and sufficient area, by easement or otherwise, for inspection and regular maintenance.

§42-241.2 General Standards for Maintenance

A. Function of Stormwater BMPs As Intended. The owner of each structural stormwater BMP installed pursuant to Subpart B shall maintain and operate it so as to preserve and continue its function in controlling stormwater quality and quantity at the degree or amount of function for which the structural stormwater BMP was designed.

B. Annual Maintenance Inspection and Report. The person responsible for maintenance of any structural stormwater BMP installed pursuant to Subpart B shall submit to the Water Quality Administrator an inspection report from either a qualified registered North Carolina professional engineer or landscape architect. The inspection report shall contain all of the following:

- (1) The name and address of the land owner;
- (2) The recorded book and page number of the lot of each structural BMP;
- (3) A statement that an inspection was made of all structural stormwater BMPs;
- (4) The date the inspection was made;
- (5) A statement that all inspected structural stormwater BMPs are performing properly and are in compliance with the terms and conditions of the approved maintenance agreement required by Subpart B; and
- (6) The original signature and seal of the engineer or landscape architect. All inspection reports shall be on forms supplied by the Water Quality Administrator. An original inspection report shall be provided to the Water Quality Administrator beginning one (1) year from the date of as-built certification and each year thereafter on or before the date of the as-built certification.

§42-241.3 Operation and Maintenance Agreement

A. In General. Prior to the conveyance or transfer of any lot or building site to be served by a structural stormwater BMP pursuant to Subpart B, and prior to issuance of any permit for development or redevelopment requiring a structural stormwater BMP pursuant to Subpart B, the applicant or owner of the site must execute an operation and maintenance agreement that shall be binding on all subsequent owners of the site, portions of the site, and lots or parcels served by the structural BMP. Until the transfer of ownership of all property, sites, or lots served by the structural BMP, the original owner or applicant shall have primary responsibility for carrying out the provisions of the maintenance agreement. The operation and maintenance agreement shall require the owner or owners maintain, repair and, if necessary, reconstruct the structural BMP, and shall state the terms, conditions, and schedule of maintenance for the structural BMP. In addition, it shall grant the County a right of entry in the event that maintain, repair, or reconstruct the structural BMP; however, in no case shall the right of entry, of itself, confer an obligation on the County to assume responsibility for the structural BMP. The operation and maintenance agreement must be approved by the Water Quality Administrator prior to plan approval, and it shall be referenced on the final plat and shall be recorded with the County Register of Deeds upon final plat approval. A copy of the recorded maintenance agreement shall be given to the Water Quality Administrator within 14 days following its recordation.

B. Special Requirement for Homeowners' and Other Associations. For all structural stormwater BMPs required pursuant to Subpart B and that are to be owned and maintained by a homeowners' association, property owners' association, or similar entity, the required operation and maintenance agreement shall include all of the following provisions:

- (1) Acknowledgment that the association shall continuously operate and maintain the stormwater control and management facilities.
- (2) Granting to the County a right of entry to inspect, monitor, maintain, repair, and reconstruct structural stormwater BMPs.
- (3) Allowing the County to recover from the association and its members any and all costs the County expends to maintain or repair the structural stormwater BMPs or to correct any operational deficiencies. Failure to pay the County all of its expended costs, after 45 days written notice, shall constitute a breach of the agreement. In case of a deficiency, the County shall thereafter be entitled to bring an action against the association and its members to pay, or foreclose upon the lien hereby authorized by the agreement against the property, or both. Interest, collection costs, and attorney fees shall be added to the recovery.
- (4) A statement that this agreement shall not obligate the County to maintain or repair any structural stormwater BMPs, and the County shall not be liable to any person for the condition or operation of structural stormwater BMPs.
- (5) A statement that this agreement shall not in any way diminish, limit, or restrict the right of the County to enforce any of its ordinances as authorized by law.
- (6) A provision indemnifying and holding harmless the County for any costs and injuries arising from or related to the structural stormwater BMP, unless the County has agreed in writing to assume the maintenance responsibility for the BMP and has accepted dedication of any and all rights necessary to carry out that maintenance.

§42-241.4 Inspection Program Inspections and inspection programs by the County may be conducted or established on any reasonable basis, including but not limited to routine inspections; random inspections; inspections based upon complaints or other notice of possible violations; and joint inspections with other agencies inspecting under environmental or safety laws. Inspections may include, but are not limited to, reviewing maintenance and repair records; sampling discharges, surface water, groundwater, and material or water in stormwater BMPs; and evaluating the condition of stormwater BMPs. If the owner or occupant of any property refuses to permit such inspection, the Water Quality Administrator shall proceed to obtain an administrative search warrant pursuant to NCGS 15-27.2 or its successor. No person shall obstruct, hamper or interfere with the Water Quality Administrator while carrying out his/her official duties.

**ROCKWELL HEAVY VEHICLE SYSTEMS, INC.**  
D.B. 911, PG. 574  
SLIDE 7092

**WATLEY/LONG/TIMBERS**  
D.B. 1306, PG. 666

**PREPARED FOR:**  
Fletcher Autobody, LLC  
Walt Millard  
39113 Griffin Landing  
Lady Lake, FL 32159  
828-551-3391  
wmillard56@centurylink.net

**CONTRACTOR:**  
Brock Builders, Inc.  
Chris Brock  
1854 Hendersonville Rd #208  
Asheville NC 28803  
828-243-6105  
chris@brockbuildersinc.com

**SETBACKS**  
The setbacks have been confirmed by Henderson County Planning. The property is in RC zoning:  
Front or R/W = 10-Ft  
Sides & rear = 10-Ft

**SCOPE -OF- WORK**

Furnish and install CONTECH Subsurface Stormwater Management System. The CONTECH system shall comply with the performance standards specified in the Henderson County Stormwater Ordinance.

All structural stormwater treatment systems used to meet the requirements of this ordinance shall be designed to have a minimum of 85% average annual removal for Total Suspended Solids (TSS).

A StormFilter is a patented treatment BMP that filters water through granular media cartridges. The StormFilter design is based on mass loading calculations that result in an anticipated minimum 1 year maintenance cycle for the system. The systems typically are configured as an underground vault containing cylindrical filter cartridges. The number of cartridges is determined by the site-specific flow rate and flow volume to be treated in accordance with the specific applicable DWQ regulations. The 85% TSS removal credit is granted for StormFilter units designed and manufactured to the following equipment specifications:

- 1 gpm/sf maximum annual media loading rate;
- Typically, upstream storage in the form of a forebay or other tankage is required to capture the required water quality volume (WQV). For projects regulated under 15A NCAC 2H .1008(h) the required storage is 75% WQV, similar to the sand filter storage requirements reported in Chapter 11.
- Media: Perlite
- Cartridges shall be generally configured as specified by the Mfr. DWQ may interpret individual proposed StormFilter installations as a case-by-case basis.

Total Impervious Area = 24,073 SF

**NOTES:**

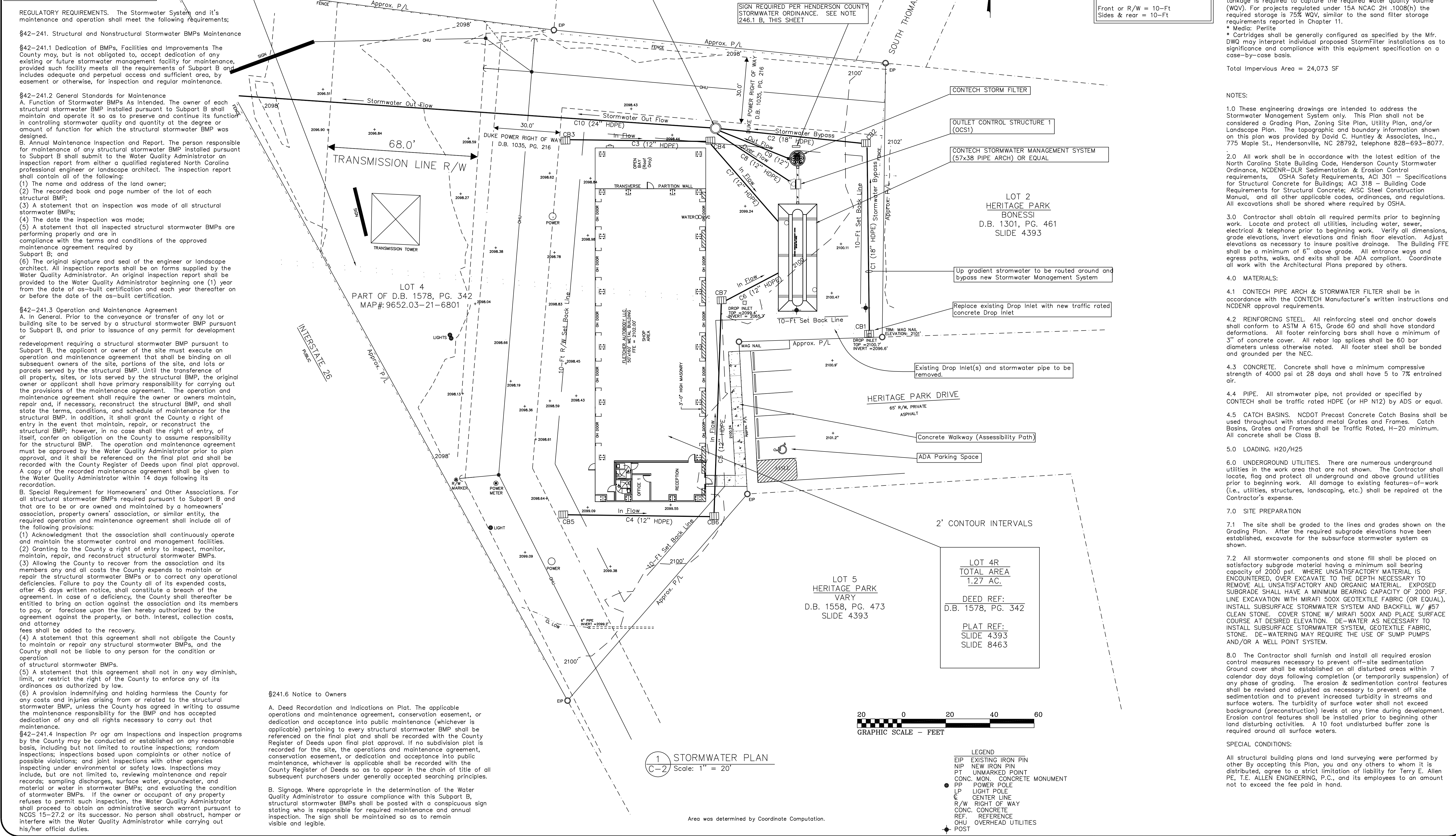
- 1.0 These engineering drawings are intended to address the Stormwater Management System only. This Plan shall not be considered a Grading Plan, Zoning Site Plan, Utility Plan, and/or Landscape Plan. The topographic and boundary information shown on this plan was provided by David C. Huntley & Associates, Inc., 775 Maple St., Hendersonville, NC 28792, telephone 828-693-8077.
- 2.0 All work shall be in accordance with the latest edition of the North Carolina State Building Code, Henderson County Stormwater Ordinance, NCDENR-DUR Sedimentation & Erosion Control requirements, OSHA Safety Requirements, ACI 301 - Specifications for Structural Concrete for Buildings; ACI 318 - Building Code Requirements for Structural Concrete; AISC Steel Construction Manual, and all other applicable codes, ordinances, and regulations. All excavations shall be shored where required by OSHA.
- 3.0 Contractor shall obtain all required permits prior to beginning work. Locate and protect all utilities, including water, sewer, electrical & telephone prior to beginning work. Verify all dimensions, grade elevations, invert elevations and finish floor elevation. Adjust elevations as necessary to insure positive drainage. The Building FFE shall be a minimum of 6" above grade. All entrance ways and egress paths, walks, and exits shall be ADA compliant. Coordinate all work with the Architectural Plans prepared by others.
- 4.0 MATERIALS:

- 4.1 CONTECH PIPE ARCH & STORMWATER FILTER shall be in accordance with the CONTECH Manufacturer's written instructions and NCDENR approval requirements.
- 4.2 REINFORCING STEEL. All reinforcing steel and anchor dowels shall conform to ASTM A 615, Grade 60 and shall have standard deformations. All footer reinforcing bars shall have a minimum of 3" of concrete cover. All rebar lap splices shall be 60 bar diameters unless otherwise noted. All footer steel shall be bonded and grouted per the NEC.
- 4.3 CONCRETE. Concrete shall have a minimum compressive strength of 4000 psi at 28 days and shall have 5 to 7% entrained air.
- 4.4 PIPE. All stormwater pipe, not provided or specified by CONTECH shall be traffic rated HDPE (or HP N12) by ADS or equal.
- 4.5 CATCH BASINS. NCDOT Precast Concrete Catch Basins shall be used throughout with standard metal Grates and Frames. Catch Basins, Grates and Frames shall be Traffic Rated, H-20 minimum. All concrete shall be Class B.
- 5.0 LOADING. H20/H25
- 6.0 UNDERGROUND UTILITIES. There are numerous underground utilities in the work area that are not shown. The Contractor shall locate, flag and protect all underground and above ground utilities prior to beginning work. All damage to existing features-of-work (i.e., utilities, structures, landscaping, etc.) shall be repaired at the Contractor's expense.
- 7.0 SITE PREPARATION

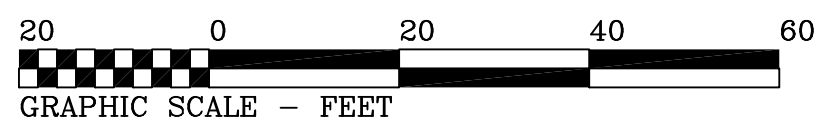
- 7.1 The site shall be graded to the lines and grades shown on the Grading Plan. After the required subgrade elevations have been established, excavate for the subsurface stormwater system as shown.
- 7.2 All stormwater components and stone fill shall be placed on satisfactory subgrade material having a minimum soil bearing capacity of 2000 psf. WHERE UNSATISFACTORY MATERIAL IS ENCOUNTERED, OVER EXCAVATE TO THE DEPTH NECESSARY TO REMOVE ALL UNSATISFACTORY AND ORGANIC MATERIAL. EXPOSED SUBGRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 2000 PSF. LINE EXCAVATION WITH MIRAFI 500X GEOTEXTILE FABRIC (OR EQUAL), INSTALL SUBSURFACE STORMWATER SYSTEM AND BACKFILL W/ #57 CLEAN STONE. COVER STONE W/ MIRAFI 500X AND PLACE SURFACE COURSE AT DESIRED ELEVATION. DE-WATER AS NECESSARY TO INSTALL SUBSURFACE STORMWATER SYSTEM, GEOTEXTILE FABRIC, STONE. DE-WATERING MAY REQUIRE THE USE OF SUMP PUMPS AND/OR A WELL POINT SYSTEM.
- 8.0 The Contractor shall furnish and install all required erosion control measures necessary to prevent off-site sedimentation. Ground cover shall be established on all disturbed areas within 7 calendar days following completion (or temporarily suspension) of any phase of grading. The erosion & sedimentation control features shall be revised and adjusted as necessary to prevent off site sedimentation and to prevent increased turbidity in streams and surface waters. The turbidity of surface water shall not exceed background (preconstruction) levels at any time during development. Erosion control features shall be installed prior to beginning other land disturbing activities. A 10 foot undisturbed buffer zone is required around all surface waters.

**SPECIAL CONDITIONS:**

All structural building plans and land surveying were performed by other. By accepting this Plan, you and any other to whom it is distributed, agree to a strict limitation of liability for Terry E. Allen PE, T.E. ALLEN ENGINEERING, P.C., and its employees to an amount not to exceed the fee paid in hand.



**1 STORMWATER PLAN**  
Scale: 1" = 20'



**LEGEND**

- EIP EXISTING IRON PIN
- NIP NEW IRON PIN
- PT UNMARKED POINT
- CONC. MON. CONCRETE MONUMENT
- PP POWER POLE
- LP LIGHT POLE
- CL CENTER LINE
- R/W RIGHT OF WAY
- CONC. CONCRETE
- REF. REFERENCE
- OHU OVERHEAD UTILITIES
- POST

Area was determined by Coordinate Computation.

Preliminary  
Not for  
Construction

**T.E. ALLEN ENGINEERING P.C.**  
CONSULTING ENGINEERS  
FIRM # C-1997  
PO BOX 103  
ROSSMAN, NORTH CAROLINA 28772  
(828) 877-4883  
MOBILE (828) 563-3004  
email: tedalleng@comportium.net

**STORMWATER MANAGEMENT PLAN**  
**FLETCHER AUTOBODY, LLC**  
48 Heritage Park (Lot 4R)  
Fletcher, Henderson County, NC

Vertical Scale:  
NONE

Horizontal Scale:  
NONE

Issue Date:  
08-30-2014

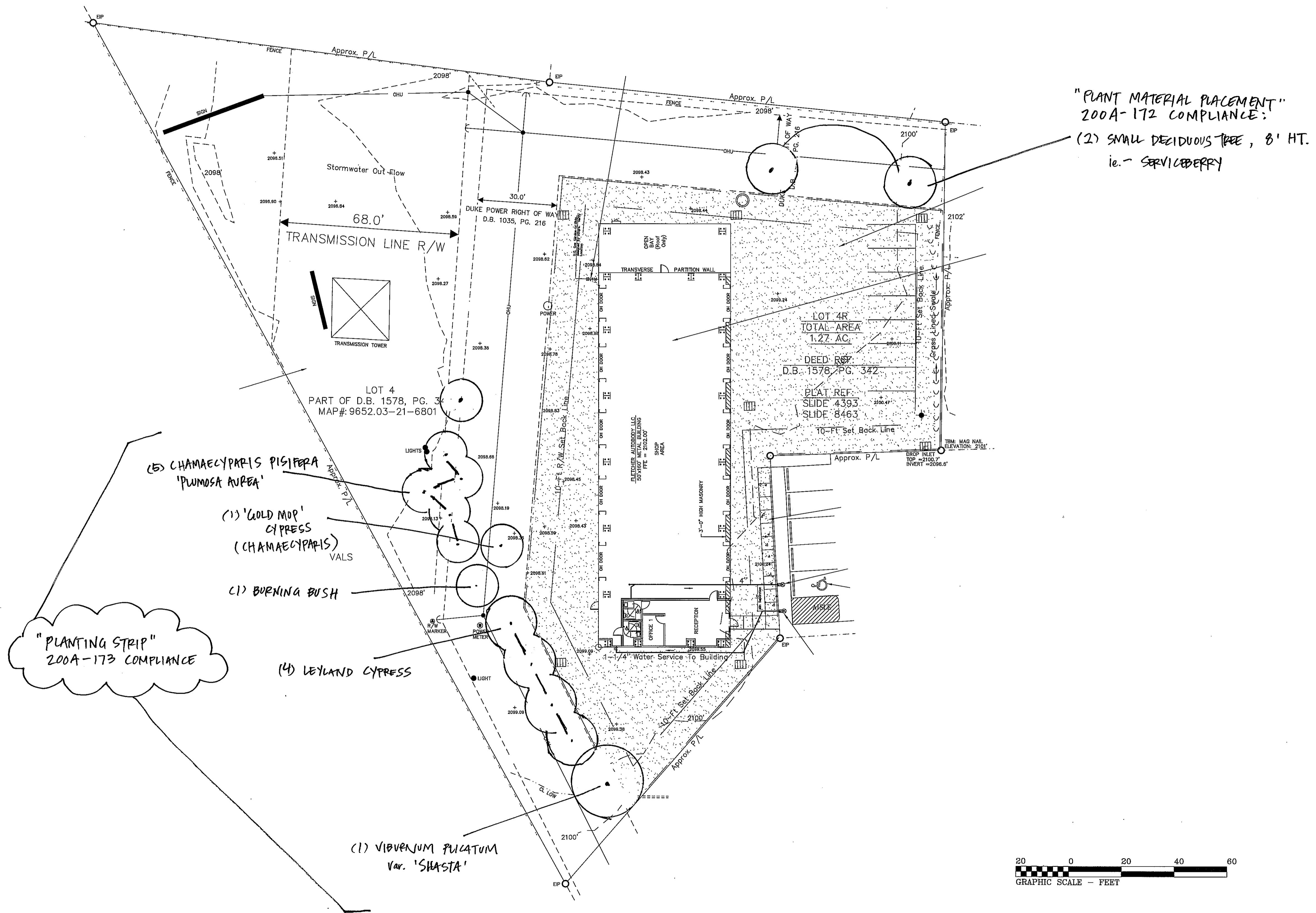
**C-2**  
SHEET 3 OF 12



Red Mountain  
LANDSCAPES

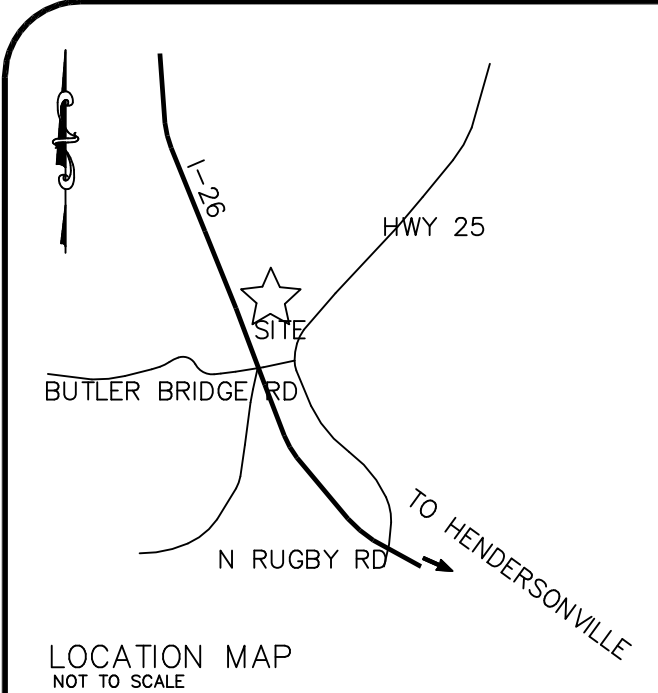
PO BOX 1774  
HENDERSONVILLE, NC  
828 . 772 . 7732  
SHILLINGLAWCS@GMAIL.COM  
WWW.REDMOUNTAINLANDSCAPES.COM

FLETCHER AUTOBODY, LLC  
48 HERITAGE PARK  
FLETCHER, NC



DATE	DESCRIPTION

PROJECT NUMBER:  
DRAWN BY: SS,  
LANDSCAPE PLAN  
SHEET 1 OF 1



ROCKWELL HEAVY VEHICLE SYSTEMS, INC.  
D.B. 911, PG. 574  
SLIDE 7092

WATLEY/LONG/TIMBERS  
D.B. 1306, PG. 666

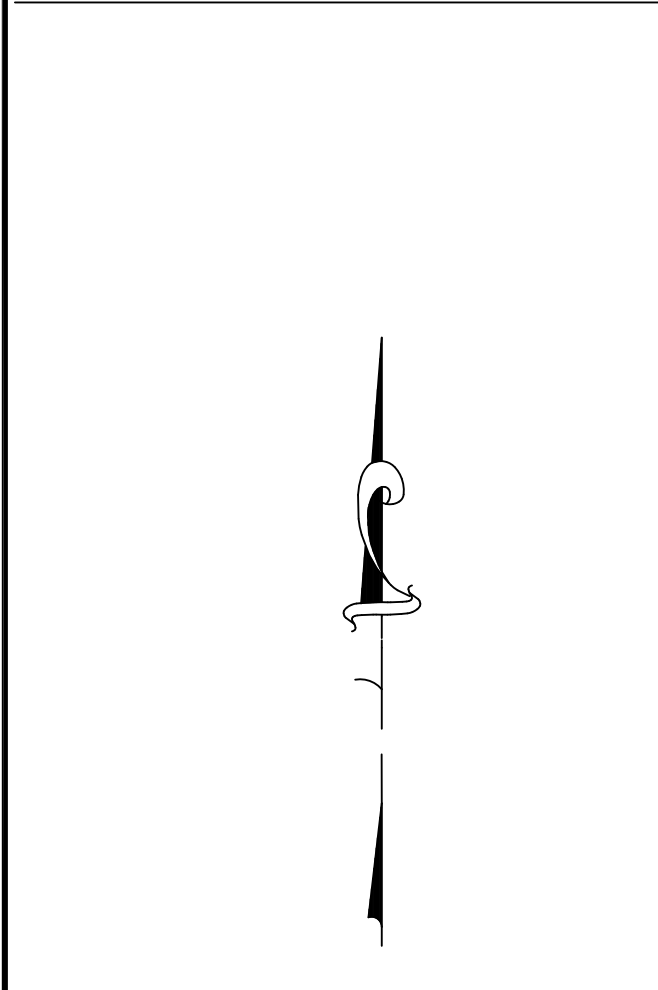
PREPARED FOR:  
Fletcher Autobody, LLC  
Walt Millard  
39113 Griffin Landing  
Lady Lake, FL 32159  
828-551-3391  
wmillard56@centurylink.net

CONTRACTOR:  
Brock Builders, Inc.  
Chris Brock  
1854 Hendersonville Rd #208  
Asheville, NC 28803  
828-243-6105  
chris@brockbuildersinc.com

SETBACKS  
The setbacks have been confirmed by Henderson County Planning. The property is in RC zoning.  
Front or R/W = 10-Ft  
Sides & rear = 10-Ft

NARRATIVE:  
This project consists of the construction of one 50'x160' Metal Building for Fletcher Autobody, LLC, complete with parking lot, utilities, and stormwater drainage system. The proposed erosion control features are to be maintained until the disturbed area is stabilized. The total disturbed area will not exceed 0.56 Acres.

- GENERAL NOTES:
- All work shall be in accordance with the North Carolina Building Code, North Carolina Sedimentation Pollution Control Act as amended, North Carolina General Statutes Chapter 113A Article 4, North Carolina Administrative Code Title 15A, Chapter 4, NCDOT Standard Specifications for Roads & Structures, OSHA Safety & Health Requirements, Henderson County Ordinances, and all other applicable codes, ordinances, regulations, and requirements. The Contractor shall obtain all required permits prior to beginning work.
  - Environmental Permitting. Certain features of work shown on this plan may require a NCDENR Trout Buffer Variance, 401/404 Water Quality Permit, Erosion Control Permit, and a FEMA No-Rise Certification (Flood Impact Study). The Owner / Developer and the Contractor shall insure all regulatory permits and variances are obtained prior to beginning work.
  - Erosion Control. All work shall be in accordance with the approved Erosion & Sedimentation Plan and Permit. The Contractor shall furnish and install all required erosion and sediment control devices as necessary to prevent off site sedimentation and to prevent any increase in surface water turbidity. The turbidity of surface water shall not exceed background (preconstruction) levels at any time during development. Erosion control features shall be installed prior to beginning land disturbing activities. All erosion control features shall remain in place until permanent ground cover is established. All erosion control measures shall be inspected and maintained on a routine basis. All silt fence, stone check dams, ditches, culverts and sediment traps shall be maintained. Any accumulated sediments shall be removed as needed to prevent off site sedimentation and/or increased turbidity of surface waters.
  - All topographic information shown on this plan was provided by David C. Huntley & Associates, Inc., 775 Maple St., Hendersonville, NC 28792, telephone 828-693-8077. This plan shall not be considered or used as an official Land Survey.
  - The Contractor shall locate, flag and protect all underground utilities, above ground utilities, and property boundaries prior to beginning work. Verify all dimensions and quantities prior to ordering materials or beginning work.
  - The total disturbed area shall not exceed 0.55 acres.
  - Site Description. The site has very mildly sloping topography, toward the northwest corner of the site. The parcel was previously used commercial business.
  - Adjacent Property. Land use in the vicinity is business.
  - Contractor shall verify stormwater requirements prior to beginning work.
  - Contractor shall verify all tops and routes in field prior to construction and ordering of materials. Contractor shall verify and protect all underground utilities prior to beginning work.
  - Ground cover shall be established on disturbed areas, including exposed slopes within 7 calendar day days following completion of any phase of grading.
  - This Plan shall be revised and adjusted as necessary to prevent off site sedimentation and to prevent increased turbidity in streams and surface waters. The turbidity of surface water shall not exceed background (preconstruction) levels at any time during development. Erosion control features shall be installed prior to beginning other land disturbing activities.
  - All erosion control features shall be constructed in accordance with the applicable details on this Sheet and Sheet EC-2.
  - A 30 foot undisturbed buffer zone is required around all adjacent streams, creeks and surface waters.
  - DITCH & CHANNEL LINING. All Grass Lined Silt Ditches shall be lined with erosion control geotextile fabric. Provide riprap lined channels where the flow velocity exceeds 5 ft/sec and/or where channel slopes over 5%.
  - CONDITION FOR USE OF THIS PLAN - By accepting this Sedimentation & Erosion Control Plan, you and any others to whom it is distributed, agree to a strict limitation of liability for Terry E. Allen PE, T.E. ALLEN ENGINEERING, P.C., and its employees to an amount not to exceed the fee paid in hand.



All existing stormwater pipes beneath building shall be removed.

LOT 4  
PART OF D.B. 1578, PG. 342  
MAP#: 9652.03-21-6801

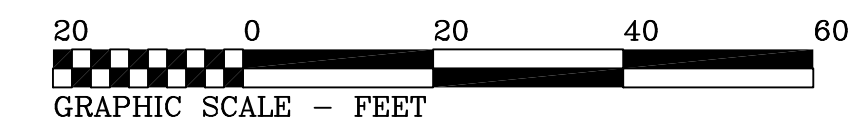
LOT 2  
HERITAGE PARK  
BONESSI  
D.B. 1301, PG. 461  
SLIDE 4393

LOT 5  
HERITAGE PARK  
VORYS  
D.B. 1558, PG. 473  
SLIDE 4393

2' CONTOUR INTERVALS

LOT 4R  
TOTAL AREA  
1.27 AC.  
  
DEED REF:  
D.B. 1578, PG. 342  
  
PLAT REF:  
SLIDE 4393  
SLIDE 8463  
  
Area was by Huntley Land Survey.

- LEGEND
- EIP EXISTING IRON PIN
  - NIP NEW IRON PIN
  - PT UNMARKED POINT
  - CONC. MON. CONCRETE MONUMENT
  - PP POWER POLE
  - LP LIGHT POLE
  - C CENTER LINE
  - R/W RIGHT OF WAY
  - CONC. CONCRETE
  - REF. REFERENCE
  - OHU OVERHEAD UTILITIES
  - POST



1 SEDIMENTATION & EROSION CONTROL PLAN  
EC-1 Scale: 1" = 20'

Preliminary  
Not for  
Construction

T.E. ALLEN ENGINEERING PC  
CONSULTING ENGINEERS  
FIRM # C-1997  
PO BOX 103  
ROSMAN, NORTH CAROLINA 28772  
(828) 877-4883  
MOBILE (828) 553-3004  
email : tedalleneng@comportium.net

SITE PLAN  
FLETCHER AUTOBODY, LLC  
48 Heritage Park (Lot 4R)  
Fletcher, Henderson County, NC

Vertical Scale:  
NONE

Horizontal Scale:  
NONE

Issue Date:  
08-30-2014

EC-1  
SHEET 6 OF 12