

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: August 15, 2017

SUBJECT: Major Site Plan Review – Elkamet

PRESENTER: Toby Linville

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Major site plan review

SUGGESTED MOTION: I move that the TRC approve the major site plan for Elkamet



Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicant:** Elkamet
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9577760610
- 1.4. **Size:** 8.30acres +/-
- 1.5. **Location:** Adjacent to 201 Mills St
- 1.6. **Supplemental Requirements:**

SR 10.8. *Manufacturing and Production Operations*

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Dust Reduction. Unpaved *roads, travelways* and/or parking areas shall be treated to prevent dust from adverse effects to adjacent properties.

Map A: Pictometry/Aerial Photography



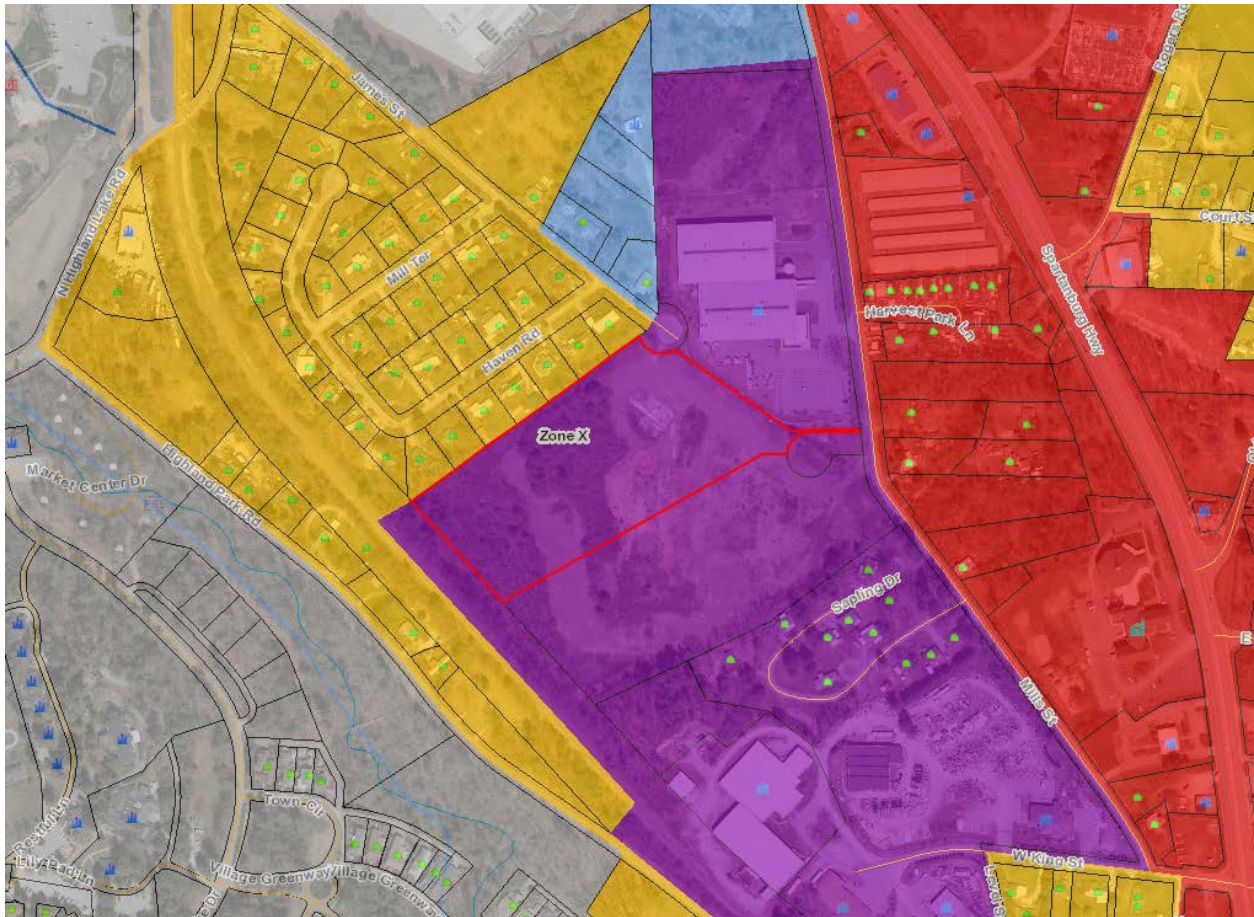
2. **Current Conditions**

Current Use: This parcel is currently vacant

Adjacent Area Uses: The surrounding properties consist of residential, commercial and industrial uses.

Zoning: The surrounding property to the northwest is Residential One, adjacent is Industrial and East is Community Commercial.

Map B: Current Zoning



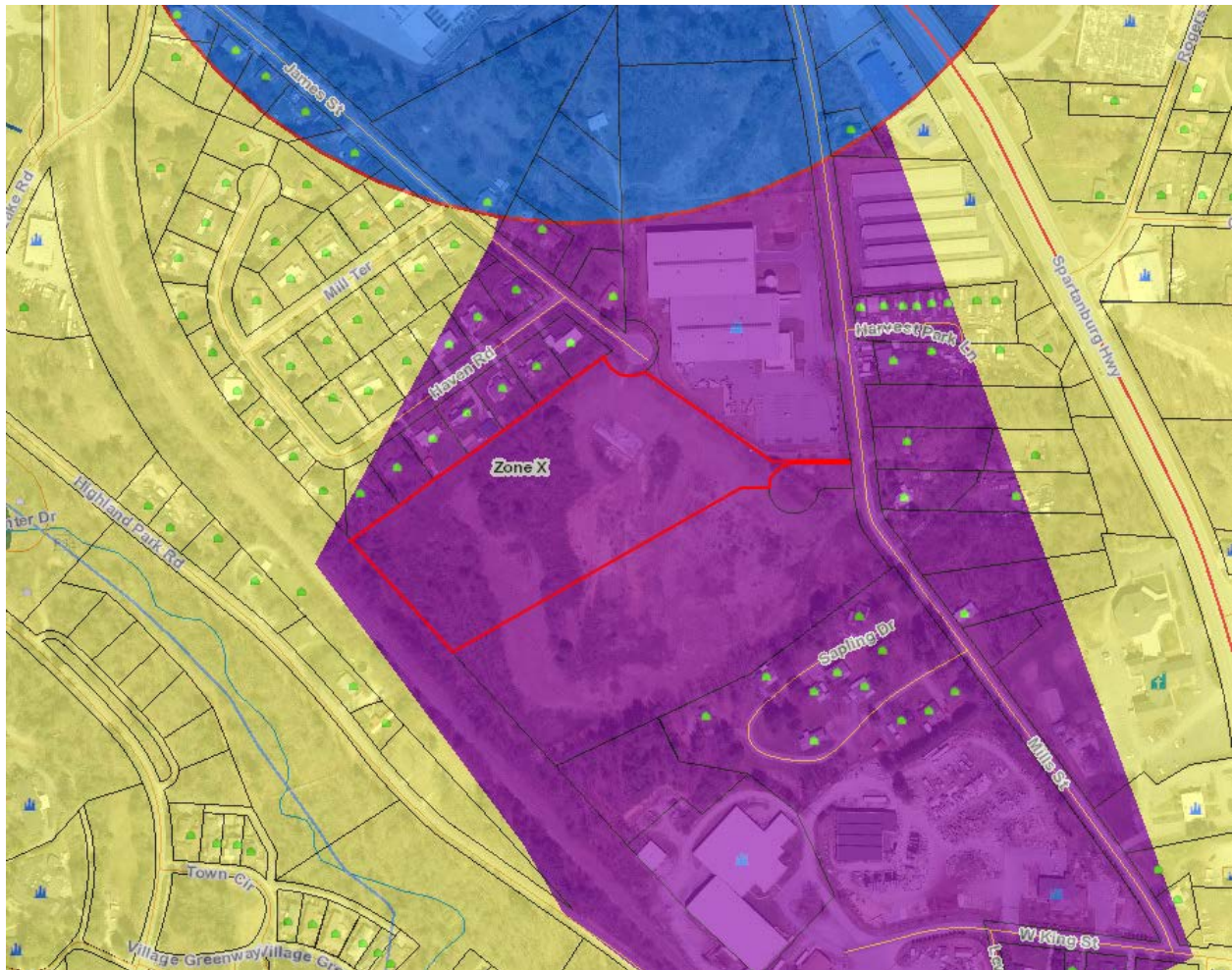
3. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

4. **Water and Sewer** This property is served by public water and sewer.

Public Water: City of Hendersonville

Public Sewer: City of Hendersonville

Map C: CCP Future Land Use Map



5. Comprehensive Plan

The 2020 CCP: The CCP Future Land Use Map places the Subject Area in the Industrial Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

Industrial: Parcels containing facilities wherein raw or pre-processed resources, materials, substances, or components are mechanically, physically, chemically, or otherwise transformed into new products; waste materials are collected, treated, or disposed of; subsurface natural resources are extracted and/or processed; Livestock, cargo, merchandise, materials or hazardous substances are transferred, stored or warehoused for wholesale or other distribution; passengers or passenger vehicles are collected or transferred; water, fuel, or electricity is produced, processed, stored, transferred or transmitted.

6. Staff Recommendations

Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

7. Photographs







ELKAMET EXPANSION

Henderson County
North Carolina

**Preliminary
Not For
Construction**

REVISIONS	
DATE	DESCRIPTION

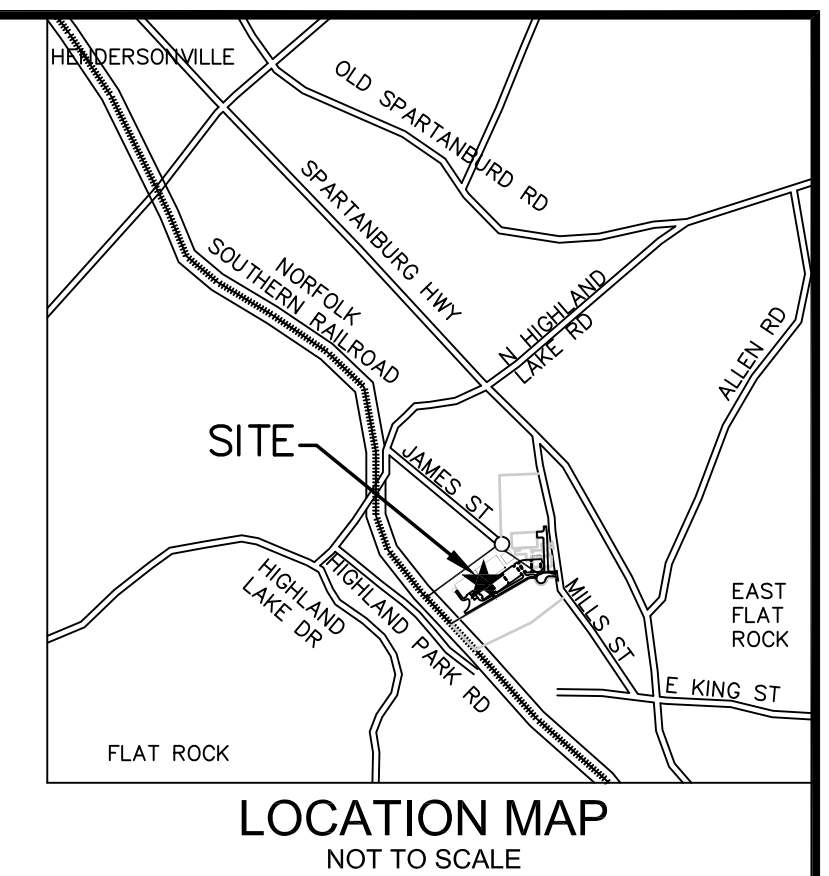


PROJECT NUMBER: 17132
DATE: 6/27/17
DRAWN BY: KHC
CHECKED BY: WRB

DEVELOPMENT PLAN

C-100

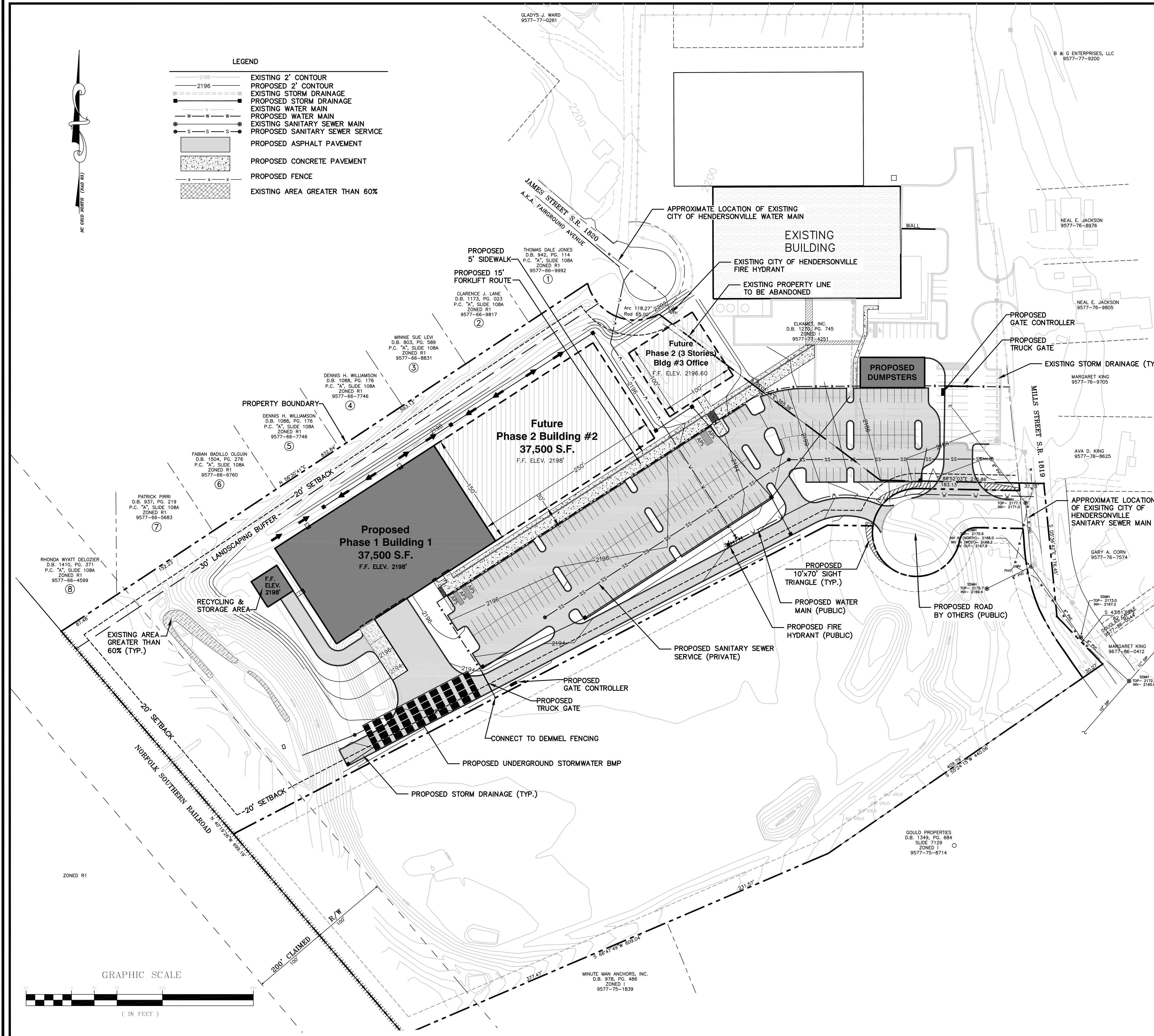
SCALE: 1"=60'



NOTE:
1.) THIS PROPERTY IS NOT LOCATED WITHIN A 100yr FLOOD HAZARD AREA.
2.) SURVEY INFORMATION PROVIDED BY: HILL AND ASSOCIATES SURVEYORS 403 W. BLUE RIDGE ROAD EAST FLAT ROCK, NC 28726
3.) LIGHTING MITIGATION IS REQUIRED FOR EXTERIOR LIGHTING.

PROJECT SUMMARY:

PROJECT NAME: ELKAMET EXPANSION
PROJECT ADDRESS: 201 MILLS STREET HENDERSONVILLE NC
PROPERTY OWNER: ELKAMET, INC. 201 MILLS STREET PO BOX 265 E. FLAT ROCK, NC 28726
DEVELOPER: ELKAMET, INC. 201 MILLS STREET PO BOX 265 E. FLAT ROCK, NC 28726
ENGINEER: WILLIAM R. BUIE, P.E. 214 N. KING STREET HENDERSONVILLE, NC 28792 (828) 687-7177
PIN #: PORTION OF 9577-76-1560
DB/PG: SLIDE 10591 (TRACT 1)
ZONING: I (INDUSTRIAL DISTRICT)
TOTAL ACREAGE: 8.30 ACRES
ACREAGE OVER 60%: 0.10 ACRES
OF LOTS/UNITS: 1
DENSITY: 1
WATER SYSTEM: ON SITE (PUBLIC) CITY OF HENDERSONVILLE
SEWER SYSTEM: ON SITE (PUBLIC) CITY OF HENDERSONVILLE
BUILDING SETBACKS:
FRONT - 20'
SIDE - 20'
REAR - 20'
MAXIMUM IMPERVIOUS AREA ALLOWED: 80%
TOTAL PROPOSED IMPERVIOUS AREA: 51%
MAXIMUM FLOOR AREA (SF): UNLIMITED
PROPOSED FLOOR AREA (SF):
PROPOSED BUILDING #1 37,500
FUTURE BUILDING #2 37,500
FUTURE OFFICE 30,000
PROPOSED RECYCLING 2,000
TOTAL 107,000
MAXIMUM ALLOWABLE BUILDING HEIGHT: 72'
PROPOSED MAXIMUM BUILDING HEIGHT: XX'
PARKING REQUIRED: 27 SPACES (1/4,000 S.F.)
PROVIDED PARKING: 25 EXISTING SPACES (TO REMAIN)
242 PROPOSED SPACES
267 SPACES TOTAL
(7 ACCESSIBLE PARKING SPACES)
LOADING REQUIRED: 4
LOADING PROVIDED: 4



LEGEND

	EXISTING 2' CONTOUR
	PROPOSED 2' CONTOUR
	EXISTING STORM DRAINAGE
	PROPOSED STORM DRAINAGE
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED FENCE
	EXISTING AREA GREATER THAN 60%

