

## **REQUEST FOR COMMITTEE ACTION**

### **HENDERSON COUNTY TECHNICAL REVIEW COMMITTEE**

**MEETING DATE:** October 3, 2017

**SUBJECT:** Revised Master Plan and Development Plan for The Boulders Subdivision (2007-M01) (2017 Revised Master and Development Plan)

**PRESENTER:** Allen McNeill, Planner

**ATTACHMENTS:** 1. Staff Report  
2. Aerial Map  
3. Master Plan Documents

#### **SUMMARY OF REQUEST:**

On August 28, 2017, applicant Scott Bolyard submitted a Revised Master and Development Plan for The Boulders major subdivision. The Subject Area is located on 57.32 acres of land located off Randy Drive. The applicant is proposing a total of 58 single-family units. Portions of the Subject Area are located within the conservation areas as dictated by the County Comprehensive plan and the north western portion of the subject area also includes a protected mountain ridge. The Subject Area is located in the Residential One (R1) zoning district. A City of Hendersonville public water connection is proposed and as public sewer is unavailable the applicant proposes the use of private septic systems.

This revision includes the addition of a 15.39 acre tract of land on the western side of the subject are. On August 16<sup>th</sup>, 2017 the Henderson County Board of Commissioners approved the request that 3.43 acres of the added 15.39 acre parcel be rezoned from a Hendersonville City Estate Residential (R-40) zoning district to a County Residential One (R1) zoning district.

It should also be stated that this application is a revision to a Master and Development plan that was originally approved in 2006 with the most recent revision being approved in 2012.

#### **TECHNICAL REVIEW COMMITTEE ACTION REQUESTED:**

Staff has found no evidence to indicate that the proposed Master and Development Plan does not meet the standards of the subdivision regulations of Chapter 42A, Henderson County Land Development Code (LDC). Staff recommends the Master Plan be subject to the developer addressing any issues raised by the TRC and addressing the comments listed in the Staff Report.

#### **Suggested Motion:**

I move that the TRC forward this item on to the Planning Board for further review so long as application #2007-M01 (2017 Revised Master and Development Plan) meets all technical requirements based on the Henderson County Land Development Code and recommendations of the Henderson County 2020 Comprehensive Plan and with any conditions in the staff report or as discussed by the TRC.

**HENDERSON COUNTY  
SUBDIVISION APPLICATION FORM**  
(Please fill out all applicable items)

**SUBDIVISION INFORMATION**

Subdivision Name: BOULDERS

Subdivision Type (Circle One): Major Minor Non-Standard Special

Proposed Use of Property (Circle One): Residential Commercial Industrial

Conservation Subdivision: Yes No Gated entrance to property: Yes No

Existing Number of Lots: 25 Total Number of Proposed Lots: 58

Total Number Proposed Units: 58 Proposed Density (units per acre): 1.03

Road System: ( ) Public  Private ( ) Combination Public and Private

Water System: ( ) Individual  Community ( ) Municipal

Sewer System:  Individual ( ) Community ( ) Municipal

**PARCEL INFORMATION**

PIN: 9660100895 Total Acreage: 57.32 Deed Book/Page: 1496/P3328 Township: MT. HOME

Location of property to be divided: 179 RAINY DRIVE, IN BOULDERS SUBDIVISION.

Zoning District: HENDERSON - R1 Fire District: MT. HOME

Water Supply Watershed: C.M. HENDERSONVILLE School District: CLEAR CREEK / HENDERSONVILLE

Any portion of property within or containing the following:

Floodplain or floodway: Yes  No  Perennial streams: Yes  No

Protected mountain ridges: Yes  No  Cemetery: Yes  No

Within 1/2 mile of a Farmland Preservation District: Yes  No

Adjacent to a Farmland Preservation District: Yes  No

**CONTACT INFORMATION**

Property Owner: PETER BRAUER

Name: CLIFFSIDE AT BOULDERS Phone: 561-367-9529

Address: 6806 Via Regina City, State, Zip: BOCA RATON, FL, 33433

Applicant:

Name: SAME AS ABOVE Phone: \_\_\_\_\_

Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Agent: Agent Form (Circle One):  Yes No

Name: SCOTT BOLYARD Phone: 828-696-9992

Address: 1003 4E AVE. WEST. City, State, Zip: HENDERSONVILLE, NC, 28739

Plan Preparer:

Name: SCOTT BOLYARD Phone: \_\_\_\_\_

Address: SAME AS ABOVE. City, State, Zip: \_\_\_\_\_

I certify that the information shown above is true and accurate and is in conformance with the Subdivision regulations of Henderson County.

Peter M. Brauer Signature Applicant (Owner or Agent) 2/17/2017 Date

Print Applicant (Owner or Agent)

**County Use Only**

Fee: \$ \_\_\_\_\_ Paid: \_\_\_\_\_ Method: \_\_\_\_\_ Final Plat Approved On: \_\_\_\_\_

APPOINTMENT OF AGENT FORM (OPTIONAL)

I PETER BROWER owner of property located on 179 RANN DRIVE,  
(Name) (Street Name)  
recorded in 1496 / pg 326 and having a parcel identification number of 9660100895  
(Deed Book/Page) (PIN)

located in Henderson County, North Carolina, do hereby appoint SCOTT BOLYARD  
(Agent's Name)

to represent me in an **application to the Planning Department** and authorize him/her to act as my agent **in all matters**, formal and informal except as stated herein, and authorize him/her to receive all official correspondence.

I however understand that as the listed property owner, I must sign all affidavits and statements required by any applicable ordinance.

  
Property Owner

8/17/2019  
Date



# Aerial Map

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## Henderson County Planning Department Staff Report

### Revised Master and Development Plan for the Boulders of Hendersonville (2007-M01)

**Peter Brower, Owner**  
**Scott Bolyard, Landscape Architect, Creative Development Solutions**

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#### **Master Plan Comments:**

According to Chapter 42A, Henderson County Land Development Code (LDC) §42A-341, the purpose of a Master Plan is to provide general information about the proposed development to allow for an assessment of its impact on the orderly growth and development of the County, environmental quality, land values, natural features identified on the site analysis sketch and the County's roads and governmental services. During the review of the Master Plan, the Technical Review Committee and the Planning Board should take into consideration: applicable recommendations of the Henderson County 2020 Comprehensive Plan, the potential use of the land to be subdivided, and the impact of the subdivision and proposed use whether residential, commercial or industrial.

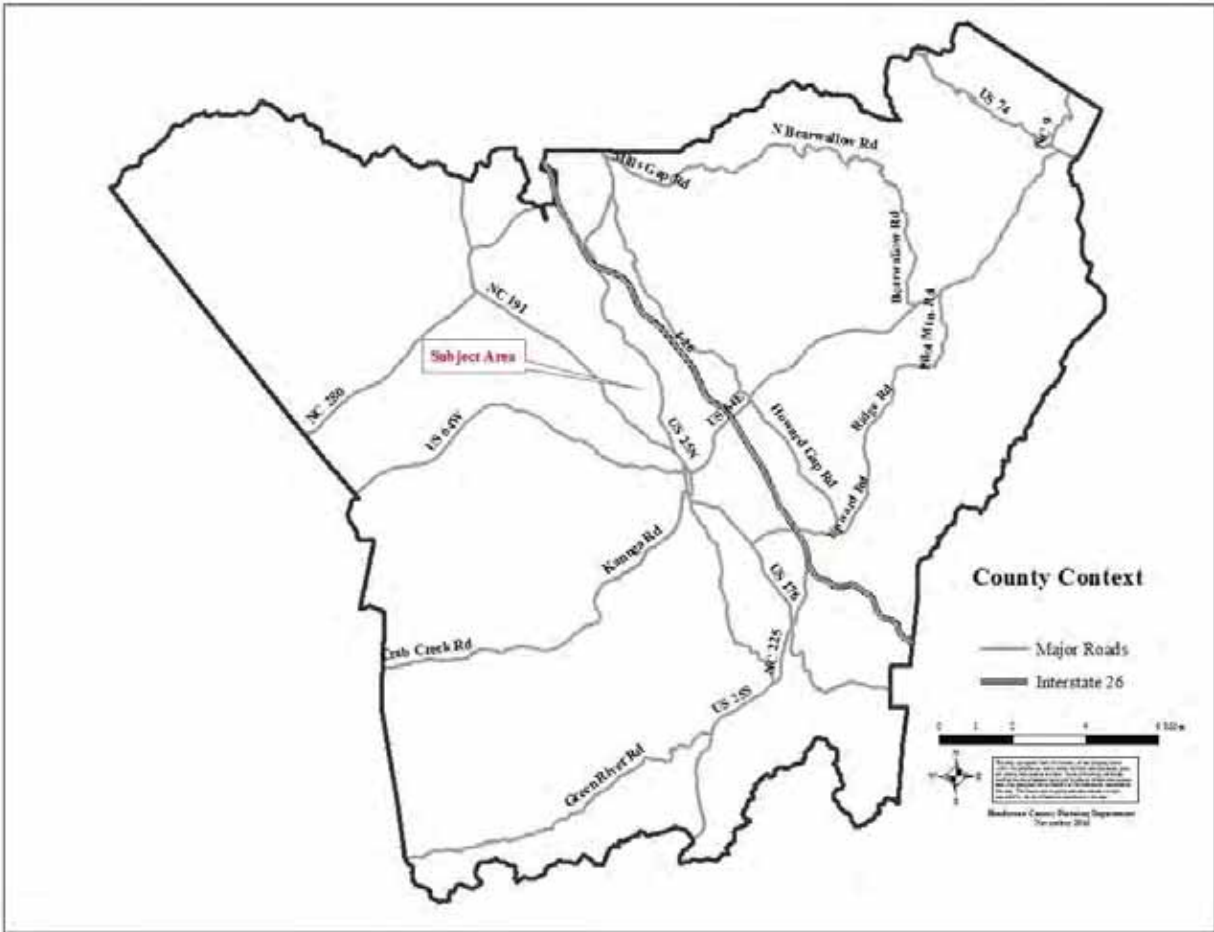
When reviewing the Master Plan it is important to consider that, due to severe topographic conditions, inadequate road access, distance from services, unique natural areas, soils that do not easily support soil drainage systems and/or the proximity to existing and incompatible land uses/zoning, all land may not be suitable to be subdivided for the purpose of dense development (LDC §42-75).

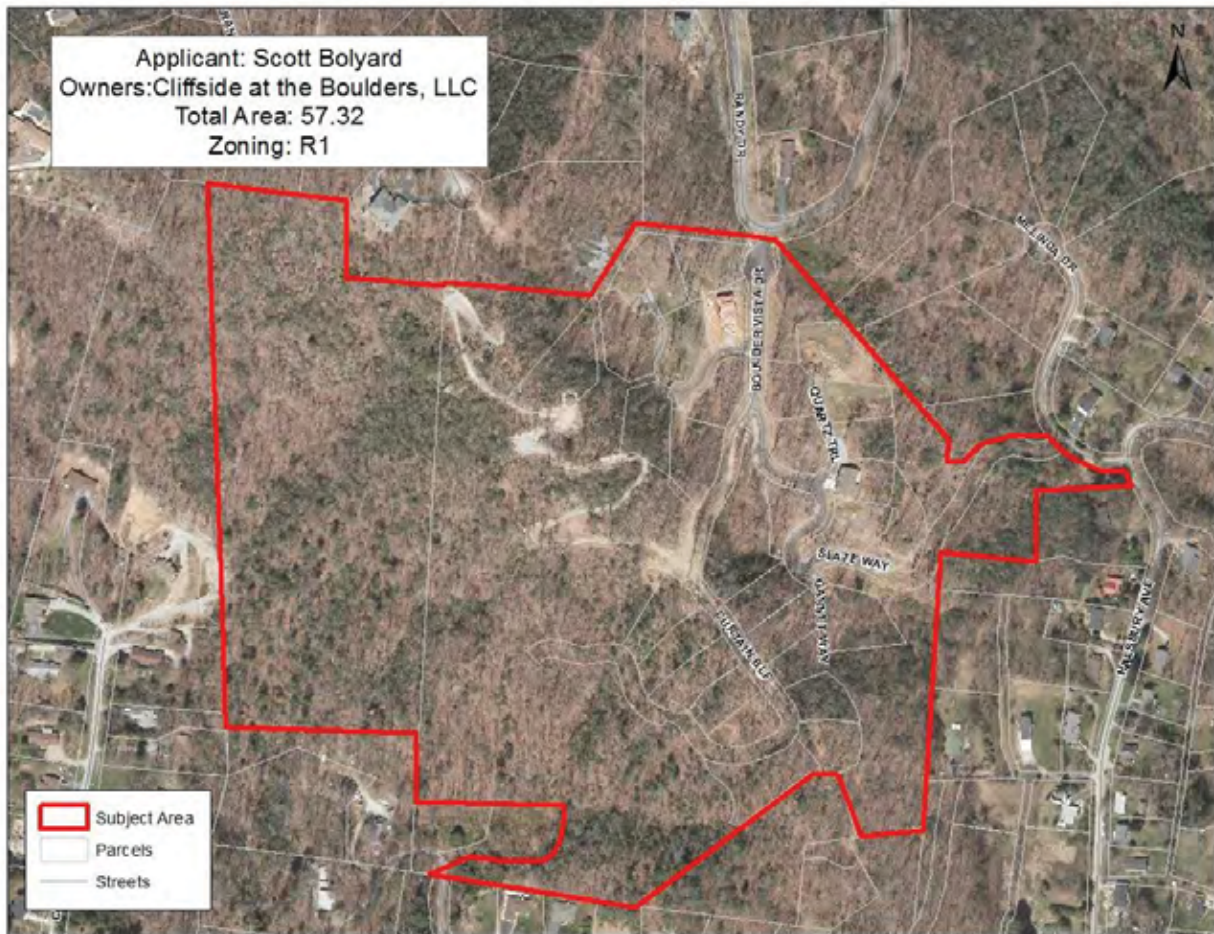
Staff has reviewed the submitted the Master Plan for the Boulders Major Subdivision, taking into consideration the recommendations of the Henderson County 2020 Comprehensive Plan and reviewing the plan for conformance with Henderson County Land Development Code. Staff offers the following comments:

#### **Applicant Overview**

- 1. Applicant:** Peter Brower
- 2. Property Owner:** Peter Brower of Cliffside at the Boulders, LLC
- 3. Pins:** 9660-10-0884 and 966-10-0895
- 4. Request:** Major subdivision with 58 Units
- 5. Size:** Approximately 57.32
- 6. Location:** The subject area is located off Randy Drive, above Lyndhurst Drive just north of the City of Hendersonville.

### Map A: County Context



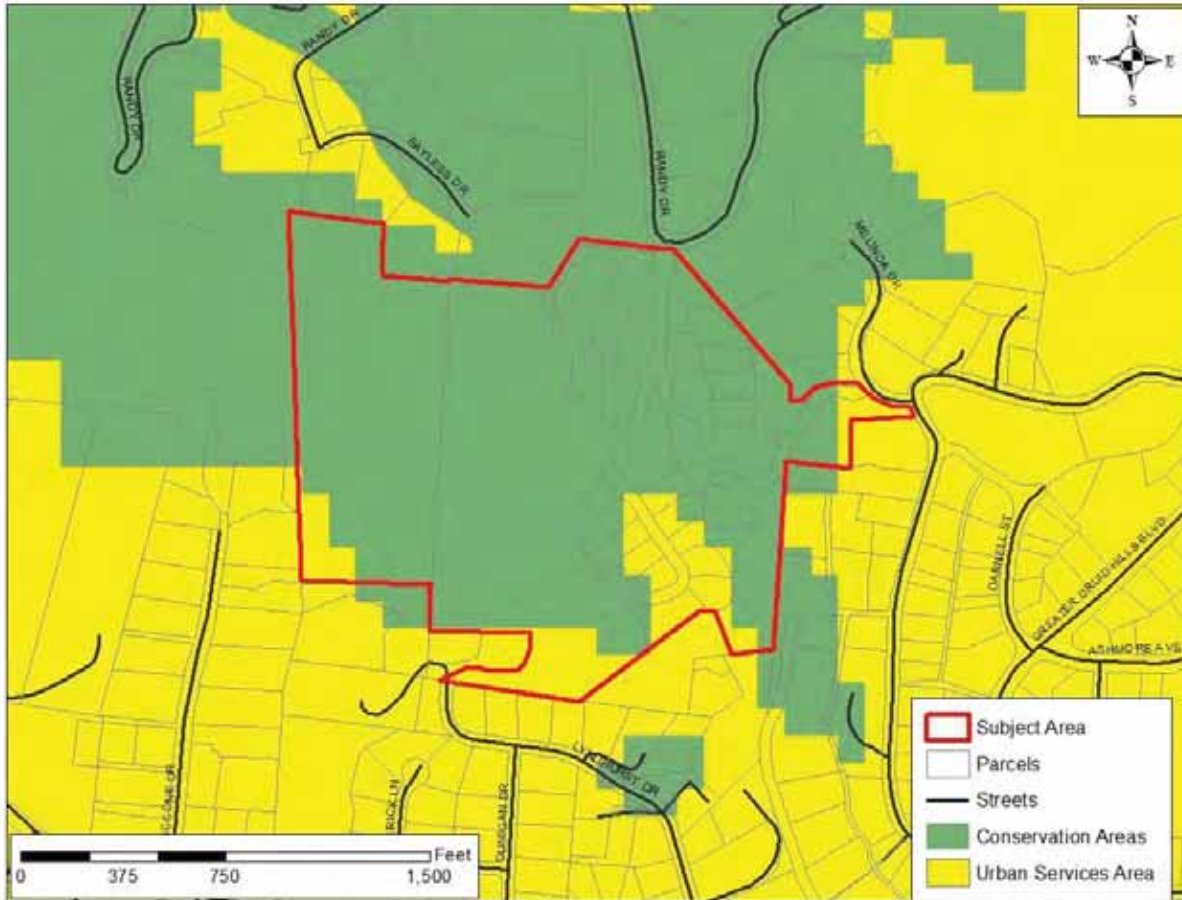
**Map B: Aerial**

1. **Henderson County 2020 Comprehensive Plan (CCP).** The Future Land Use Map of the CCP shows the project site as being located within each of the following areas: Conservation Area and Urban Services Area (USA) (See Map C: CCP Future Land Use Map).

(a) **Conservation Area.** The conservation area designation is applied to a majority of the project site, largely due to slope and a protected mountain ridge (See Map C: CCP Future Land Use Map, Map D: Slopes Map, and Map E: Protected Ridges). The overwhelming majority of slopes within the project site appear to be in excess of 25 percent, with portions having slopes in excess of 60 percent. According to the plan, only a minority of the steep slope areas within the project site appear to be located in designated common area/open space. The CCP states that conservation lands “are intended to remain largely in their natural state, with only limited development,” and further that “such areas should be targeted for protection through regulations and incentives” (2020 CCP, Pg. 138).

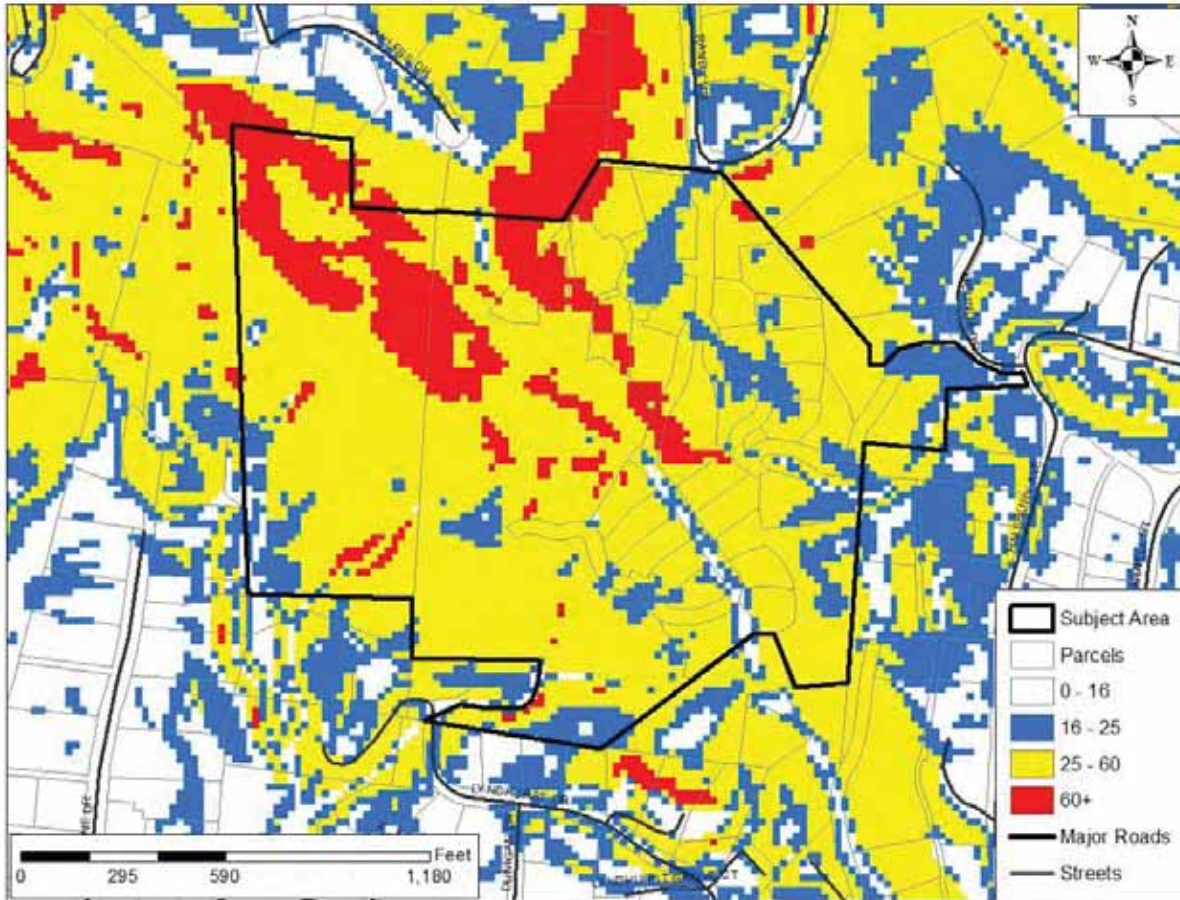


### Map C: County Comprehensive Plan Future Land Use Map



(b) **Urban Services Area.** The Urban Services Area (USA) designation of the Growth Management Strategy is applied to portions of the project site. The USA is that area within which most urban services and urban-scale development is currently concentrated, and within which such development should generally be concentrated through the year 2020 (CCP, Pg. 132). The text and map of the 2020 CCP suggest that wide ranges of residential densities will exist in the USA. Over the long term, land use regulations and policies should favor higher density development, consistent with natural constraints and the availability of urban services. At the same time, policies and regulations should protect existing less-intensely developed communities. (CCP, Pg. 133)

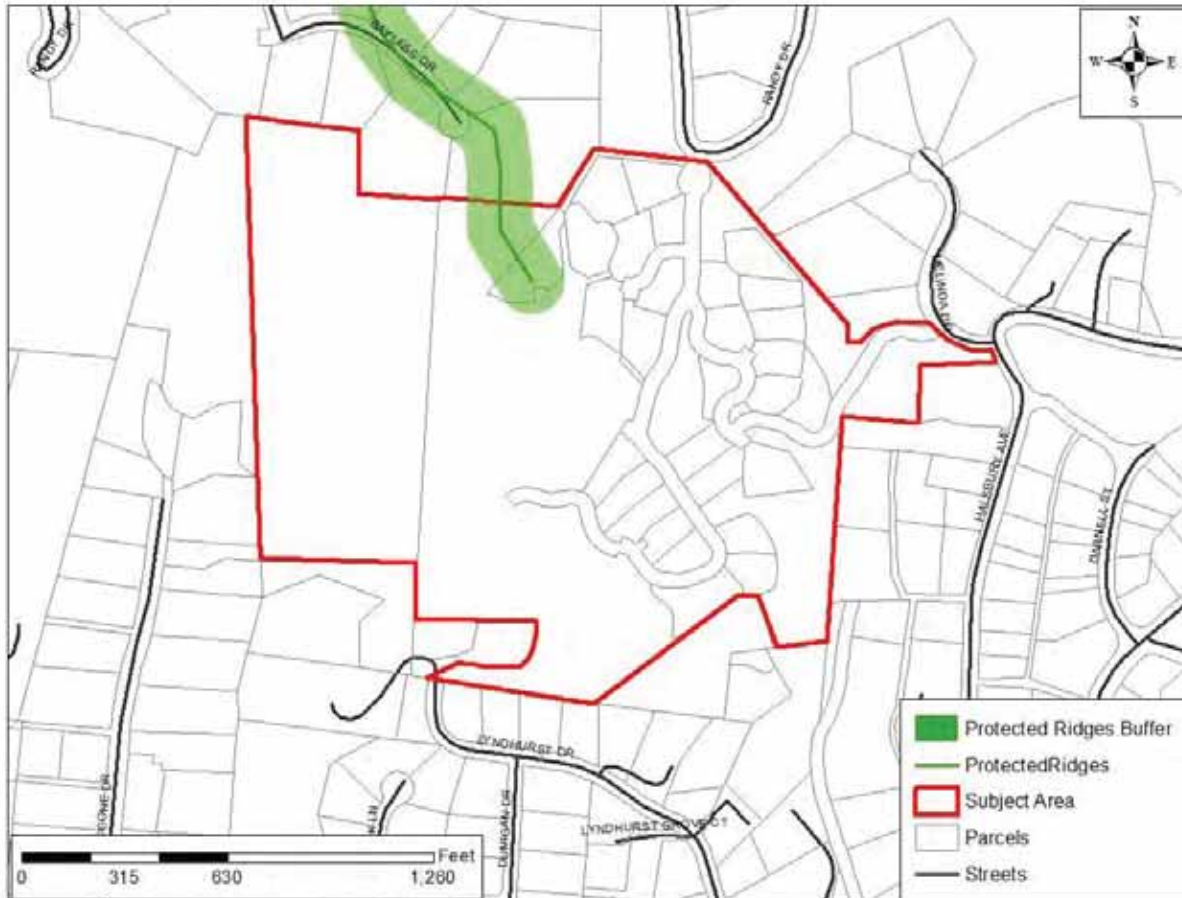
According to the plan, the project would have an average density of approximately 1.03 units per acre. The CCP states that higher density residential development should be concentrated in the Urban Services Area and that regulations should target Conservation Area and areas with steep slopes for protection.

**Map D: Slope Map**

1. **Protected Mountain Ridges.** The project site appears to contain an area effected by the Mountain Ridge Protection Ordinance which states that the provisions of NCGS 113A-209 apply to all mountain ridges in Henderson County whose elevation is 500 feet or more above the adjacent valley floor (Map E: Protected Mountain Ridges). NCGS 113A-209 states that no county may authorize the construction of, and no person may construct, a tall building or structure on any protected mountain ridge. The definition of a tall building found in NCGS 113A-206 is any building with a vertical height of more than 40 feet measured from the top of the foundation and the uppermost point of the building. Additionally, where such foundation measured from the natural finished grade of the crest or the natural finished grade of the high side slope of a ridge exceeds three (3) feet, then such measurement in excess of three (3) feet shall be included in the 40-foot limitation provided that no such building protrudes at its uppermost point above the crest of the ridge by more than 35 feet. The area of ridge under protection is defined as the elongated crest or series of crests at the apex or uppermost point of intersection between two (2) opposite slopes or sides of a mountain, and includes all land 100 feet below the elevation of any portion of such line or surface along the crest. Planning Staff recommends, as a condition of approval, that the Applicant shall adhere to the Mountain Ridge Protection regulations of the County which state that the provisions of NCGS 113A-209 apply to all mountain ridges whose elevation is 500 feet or more above the

adjacent valley floor. Planning staff also recommends that the applicant be required to delineate the protected ridge area on the development plan(s) showing the area within 100 feet below the crest(s).

**Map E: Protected Mountain Ridges Map**

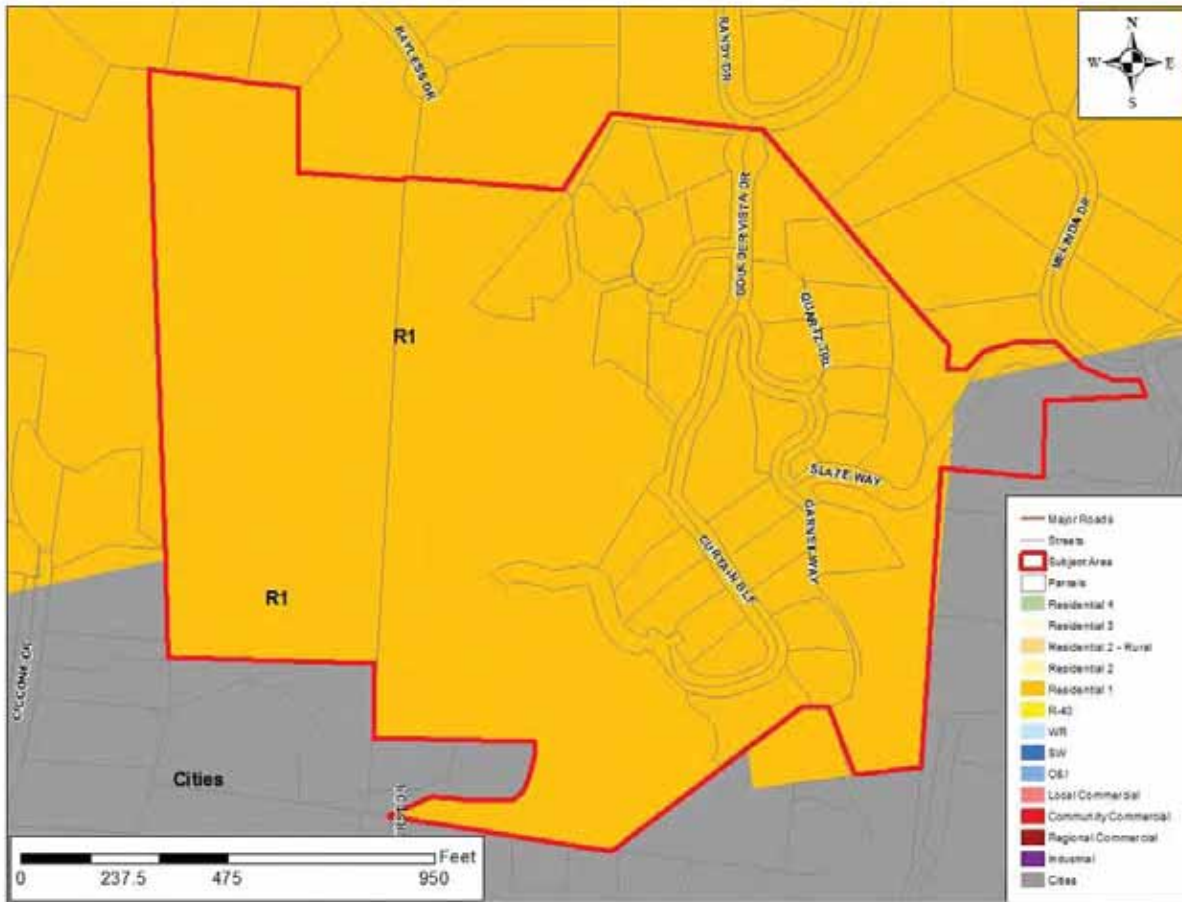


2. **Chapter 200A, Henderson County Land Development Code (LDC).** According to Chapter 200A, Henderson County Land Development Code (LDC) and its Official Zoning Map adopted September 19, 2007 (as amended), the proposed project site is located within the Residential One (R1) (See Map F: Official Zoning Map). The R1 district allows for single-family residential development.

R1 allows for a standard residential density of 4 units per acre where the slope is less than 60 percent. At total of 34.9 acres are in this category, meaning 139 units would be permitted within this acreage. Where slopes are 60 percent or greater, the density shall be one-half ( $\frac{1}{2}$ ) of the eligible density (2 units per acre). A total of 6.8 acres of the project site are in this category, meaning a total of 13 units would be permitted. Therefore, the LDC allows for a maximum of 153 units on the project site. The Master Plan proposal of 58 units would fall within the density permitted by the LDC.



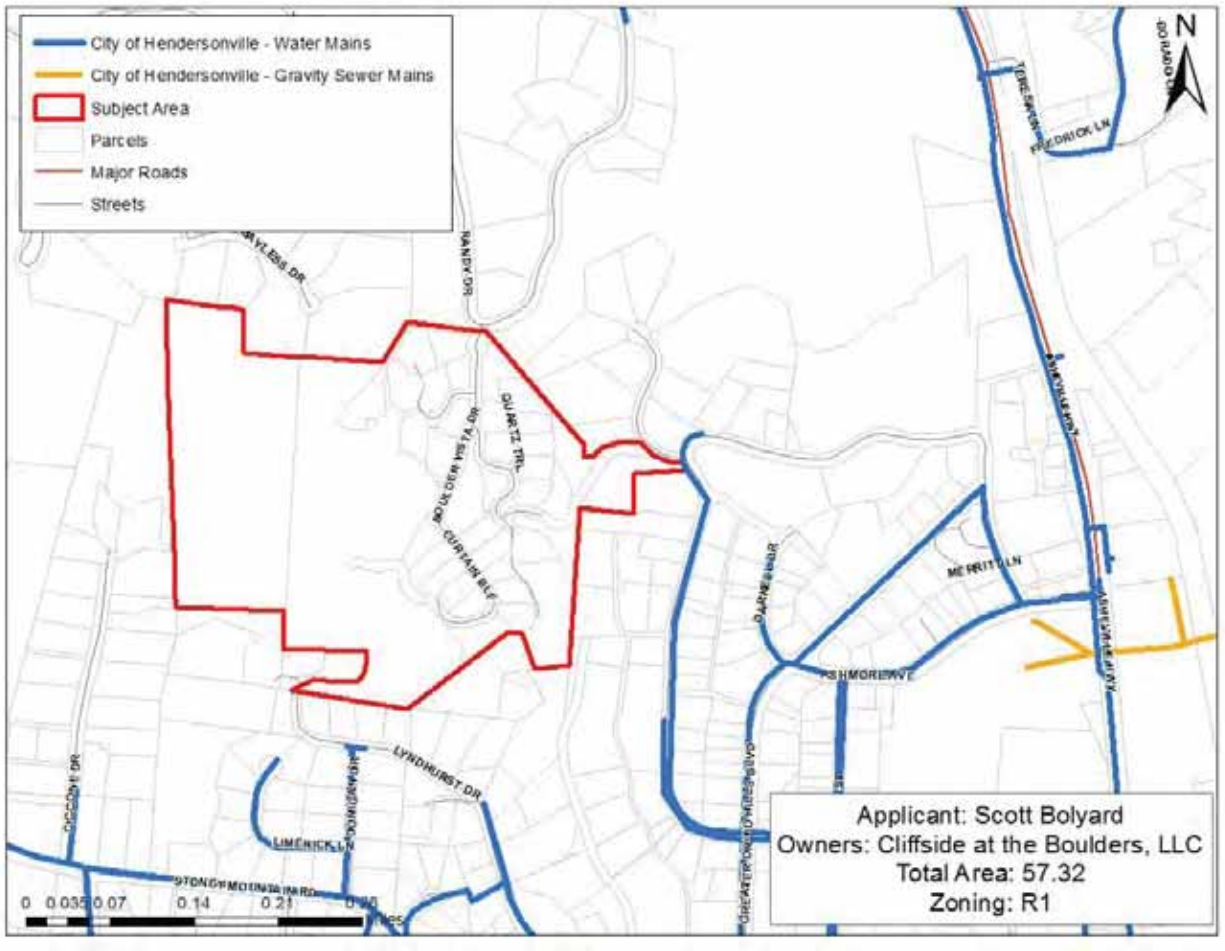
**Map F: Official Zoning Map**



3. **Water and Sewer Availability.** Applicant proposes a public connection to the City of Hendersonville water system on Melinda Drive. The water system within the project site is proposed to be private. The distance to public water from the project site on Melinda drive is 100 feet. The distance to public water from the project site on Lyndhurst Drive is 400 feet.

Applicant proposes private septic systems. Master plan provides a distance to public sewer (from Randy Drive to US 25 N) of 3,500 feet. The site is not close enough to public sewer to require connection (LDC §42-113 C.5).

**Map G: Public Water and Sewer Map**



**Master & Development Plan Comments:**

1. **Soil Erosion and Sedimentation Control Plan.** The Applicant shall submit written notice from the appropriate local agencies verifying that an Erosion and Sedimentation Control Plan has been received or a written notice from a professional land surveyor, engineer, landscape architect, architect, or professional planner certifying that no plan is required (LDC §42-113B).
  
2. **Fire Protection Requirements.** The Henderson County Fire Marshall and Planning Department determined that in-house sprinkler systems for each residential dwelling proposed in the Boulders of Hendersonville project would be acceptable as an adequate fire suppression alternative. Sprinkler systems will be required to be built to the National Fire Protection Association standard 13D for the installation of sprinkler systems in residential occupancies.

Because the applicant is choosing to provide in-house fire sprinklers in lieu of providing fire hydrants within the development, as a condition of approval, the applicant shall enter into a binding agreement in the form of a restrictive covenant between the applicant and the County

regarding provision of in-house sprinklers. Such provision shall require constructing each home with a 13D sprinkler system. The Subdivision Administrator shall review and approve the restrictive covenant language prior to recordation by the applicant.

3. **Private Roads.** Phase 3a, 3b, 4a, 4b and Phase 5 are proposed to include private roads. Private subdivision collector roads include: Boulder Vista Drive. Private subdivision local roads include: Garnet Way, Curtain Bluff, Marble Heights Trail and Slate Way. Private subdivision limited local roads include: Quartz Trail. In Phase 4a and 4b the applicant is proposing two (2) private driveway easements, shown as “Shared Private Driveway”. The proposed private roads appear to and must, as a condition of approval, meet the standards of LDC §42-104. The final plat(s) must contain a note stating: *The private roads indicated on this final plat may not meet the requirements of the North Carolina Department of Transportation for acceptance into the state road system.* Planning Staff proposes the following conditions to ensure the private roads meet the standards of the Land Development Code:
  - a. **Road Drainage and Culverts.** Road or drainage structures shall be constructed in accordance with state roads standards. Road drainage side ditches shall be constructed with sufficient depth and width to carry the expected volume of storm water runoff (LDC §42-100).
  - b. **Road Construction.** A professional engineer or professional land surveyor certify on the final plat that no portion of the constructed roads have grades that exceed maximum allowable grade as defined for each class of road or submit a final as-built graded center line profile showing grade and alignment for all roads (LDC §42-96).
4. **Road Access& Second Project Entrance.** As a condition of approval, when the total lot amount within the Boulders of Hendersonville project area reaches 35 lots the applicant/owner will be required to construct the second entrance connecting to Melinda Drive as shown on the Master Plan within Phase 5.
5. **Open Space: Conservation Subdivision Standards.** Of the approximate 57.32 acres within the project site, 26.6% (15.25 acres) is proposed as conservation area. This amount, meets the 25% conservation area requirement for the Conservation Subdivision Option in the Land Development Code.
6. **Permanent Protection of Open Space and Management of Open Space.** The applicant submitted a management plan for all proposed open space. Requirements for the plan can be found in §42-88C. Open Space proposed for a conservation subdivision shall be protected in perpetuity by a binding legal document that is recorded with the deed. The document shall be one of the following 3 options: Permanent Conservation Easement, Permanent Restrictive Covenant, or an equivalent legal tool that provides permanent protection. Proof of a recorded legal instrument as well as an Open Space Management Plan must be submitted to the Planning Department before the final plat for the subdivision can be approved (§42-88 C & D).



7. **Street Tree Requirements.** According to the street tree requirements of the LDC §42-176 & 178 the applicant must provide one tree per 50 linear feet of property abutting an internal road. Trees may be placed in groups with a minimum spacing of no less than 15 feet and a maximum spacing of no more than 65 feet. The trees must be placed within the right-of-way or within 20 feet of the edge of the right-of-way. The applicant may use existing trees in accordance with §42-153 instead of planting new trees. These existing trees must also be located within the right-of-way or 20 feet of the edge of the right-of-way as required by §42-178. It appears that the applicant is proposing seventeen (17) trees to satisfy the street tree requirements. Seven (7) of the proposed seventeen (17) will be new, and are proposed to be Cornus Florida 'Cherokee Princess' Dogwood trees.
8. **Shoulder Stabilization.** All areas disturbed by the construction of a private road, including cut and fill slopes, shoulders and ditch banks, shall be seeded to stabilize the soil and prevent erosion. Seeding should be done as soon as feasible after road construction (LDC §42-97).
9. **Road Name Approval.** Proposed road names for a private and/or public road shall be preapproved by Henderson County in accordance with Chapter 142 of the Henderson County Code, Property Addressing (LDC §42-98). The applicant lists the proposed road names for most road segments. The names of the shared drives should be confirmed with the development plan approval.
10. **Protected Mountain Ridges.** The Applicant shows to adhere to the Mountain Ridge Protection regulations of the County which state that the provisions of NCGS 113A-209 apply to all mountain ridges whose elevation is 500 feet or more above the adjacent valley floor. The applicant indicates the protected ridge area on the development plan(s) showing the area within 100 feet below the crest(s).
11. **Subdivision Names.** The final plat shall contain certification that the public records of the County have been searched and the proposed subdivision name meets the standards set forth in this Chapter (LDC §42-85).
12. **Miscellaneous Advisory Provisions.** The Applicant should become familiar with the Miscellaneous Advisory Provisions of the LDC §42-87.
13. **Final Plat Requirements.** The Final Plat(s) must meet the requirements provided by the Planning Department whenever a subdivision of land occurs (LDC §42-343).
14. **Private Driveway Easements.** Final plats must contain a note conveying maintenance responsibility of the easement to the homeowners' utilizing it to access their property. The note shall state easement(s) must be maintained to allow clear passage for emergency response vehicles. Where private driveway easements are used, the surveyor or engineer shall place and execute the surveyors certificate shown in the LDC §42-104D.

# CERTIFICATE OF PLAN APPROVAL



THE POSTING OF THIS CERTIFICATE CERTIFIES THAT AN EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN APPROVED FOR THIS PROJECT BY HENDERSON COUNTY ENGINEERING DEPARTMENT EROSION CONTROL DIVISION IN ACCORDANCE WITH HENDERSON COUNTY CODE AND NORTH CAROLINA GENERAL STATUTE 113A-57(4) AND 113A-54(D)(4) AND NORTH CAROLINA ADMINISTRATIVE CODE, TITLE 15A, CHAPTER 4B.0107(C). THIS CERTIFICATE MUST BE POSTED AT THE PRIMARY ENTRANCE OF THE JOB SITE BEFORE CONSTRUCTION BEGINS AND UNTIL ESTABLISHMENT OF PERMANENT GROUNDCOVER AS REQUIRED BY HENDERSON COUNTY CODE AND NORTH CAROLINA ADMINISTRATIVE CODE, TITLE 15A, CHAPTER 4B.0127(B).

*The Boulders S/D Phase 3 to Phase 8  
279 Randy Drive*

*EC20141203*

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*PROJECT NAME AND LOCATION*

*PERMIT NUMBER*

01/08/2015

DATE OF PLAN APPROVAL

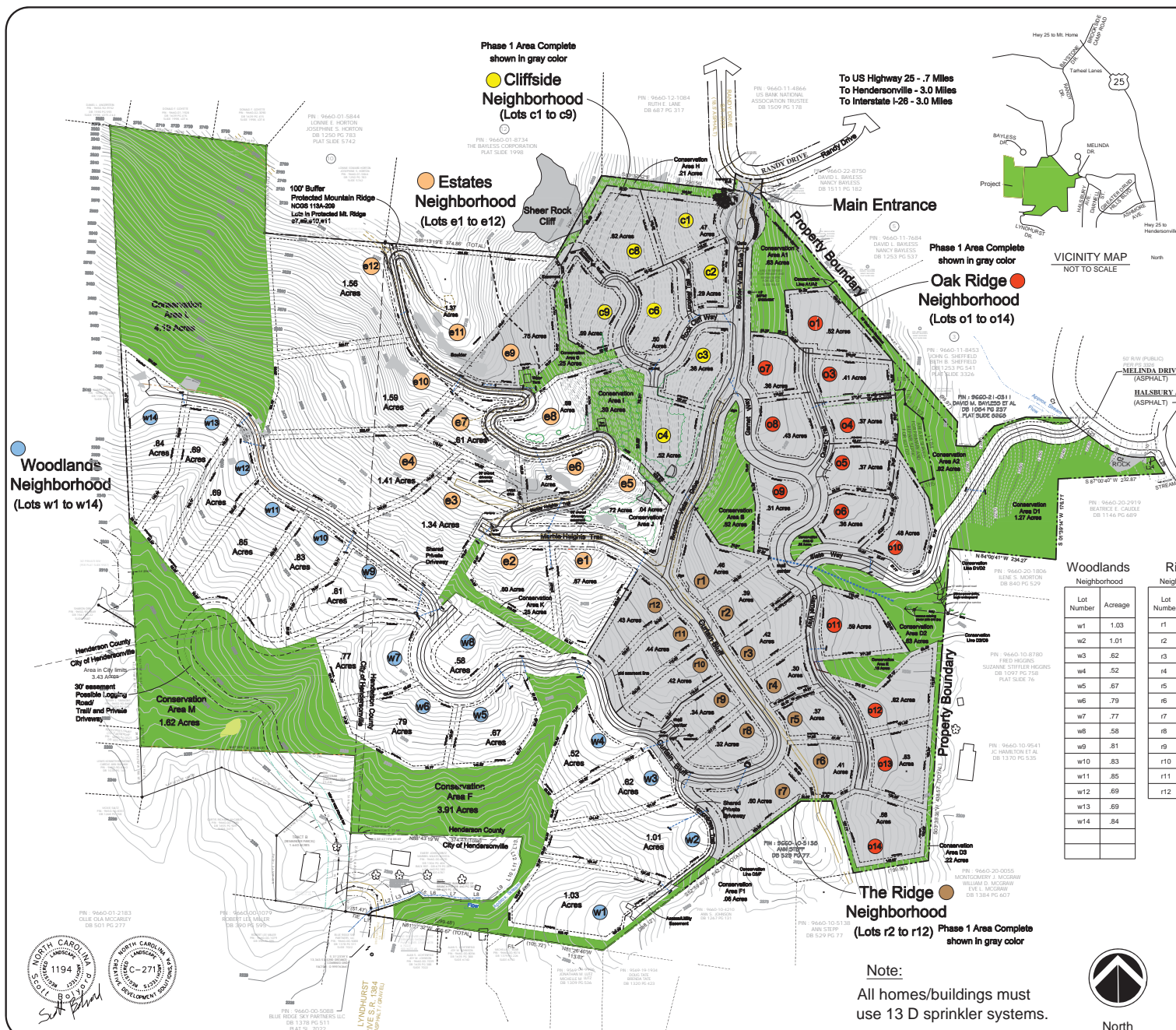


*Natalie J. Berry*

SOIL EROSION AND SEDIMENTATION  
CONTROL ADMINISTRATOR







### Overall Project Summary

Current Zoning Classification = R1  
 Total Project Area = 57.32 Acres  
 Number of Proposed Lots = 58  
 Density of Master Plan = 1.03 Lots Per Acre  
 Permitted Density of Property = 4 Units Per Acre  
 Acreage of Land with 60% slopes or greater = 13.2 acres  
 Minimum Lot size in square feet = 12,553 s.f. - Lot C2  
 Length of proposed private roads = 4,667 l.f.  
 Length of proposed private shared driveways = 3,838 l.f.

Proposed Water System = Public Connection, Private System (City of Hendersonville from Melinda Drive)  
 Distance to Public Water System = 100' Melinda Drive / 400' Lyndhurst Drive  
 Proposed Sewer System = Private Septic Systems  
 Distance to Public Sewer System = 3500' Randy Drive to US 25

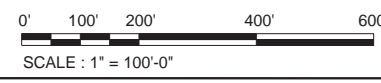
Perennial Streams Affected: None on Site  
 Area in Conservation/Open Space: 15.25 acres  
 26.6% of project area

All open space areas are greater than 30% = primary conservation  
 Primary conservation Areas = 15.25 acres  
 Conservation Use = undeveloped woodland and underground utilities  
 There are no agricultural operations on this site.

### Development Notes

- Existing Contours as shown at 2' (feet) for Randy Drive Entrance, Melinda Drive Entrance and Cliffside Lots (C1-C9). Top at 5' (feet) intervals for rest of the project.
- There are no known flood hazards, floodways or floodplains on the project.
- Project is located in Mountain Home Fire District. Project is less than 5 miles to station.
- All homes/buildings must use 13 D sprinkler systems.
- Road names are proposed and will be finalized with the County Addressing.
- There are no known farmland preservation districts adjacent to the property.
- A 10' Drainage and Utility Easement is reserved along all lot lines, 5' either side of interior lot lines and 10' inside of exterior lot lines.

Woodlands Neighborhood		Ridge Neighborhood		Cliffside Neighborhood		Oak Ridge Neighborhood		Conservation Areas	
Lot Number	Acreage	Lot Number	Acreage	Lot Number	Acreage	Lot Number	Acreage	Lot Number	Acreage
w1	1.03	r1	.46	c1	.47	o1	.52	A1	.63
w2	1.01	r2	.39	c2	.29			A2	.92
w3	.62	r3	.42	c3	.36	o3	.41	B	.52
w4	.52	r4	.30	c4	.52	o4	.37	C	.06
w5	.67	r5	.37	c5	.50	o5	.37	D1	1.27
w6	.79	r6	.41	c6	.62	o6	.36	D2	.53
w7	.77	r7	.60	c7	.59	o7	.36	D3	.22
w8	.58	r8	.32			o8	.43	E	.18
w9	.81	r9	.34			o9	.31	F	3.91
w10	.83	r10	.42			o10	.48	F1	.06
w11	.85	r11	.44			o11	.59	G	.25
w12	.69					o12	.62	H	.21
w13	.69					o13	.53	I	.39
w14	.84					o14	.58	J	.04
						e3	1.34	K	.25
						e4	1.41	L	4.19
						e5	.72	M	1.62
						e6	.52	Total	15.25
						e7	.61		
						e8	.69		
						e9	.75		
						e10	1.59		
						e11	1.37		
						e12	1.56		



**Owner:** Cliffside at the Boulders, LLC  
**Project:** Peter Brower  
 6806 Via Regina  
 Boca Raton, FL 33463

**Project:** The Boulders

**Sheet:** Henderson County Development Plan Conservation Subdivision Master Plan

**Designed By:** Creative Development Solutions  
 1001 14th Avenue West, Hendersonville, North Carolina 28791  
 Phone: 828.437.1111 | Fax: 828.437.1112 | Website: creative-dev.com

**ISSUE DATE:** August 14, 2017  
**REVISIONS:**  
 1. PREPARED BY: [Signature]  
 2. CHECKED BY: [Signature]  
 3. APPROVED BY: [Signature]

Project Number: \_\_\_\_\_  
 SHEET NUMBER: L2

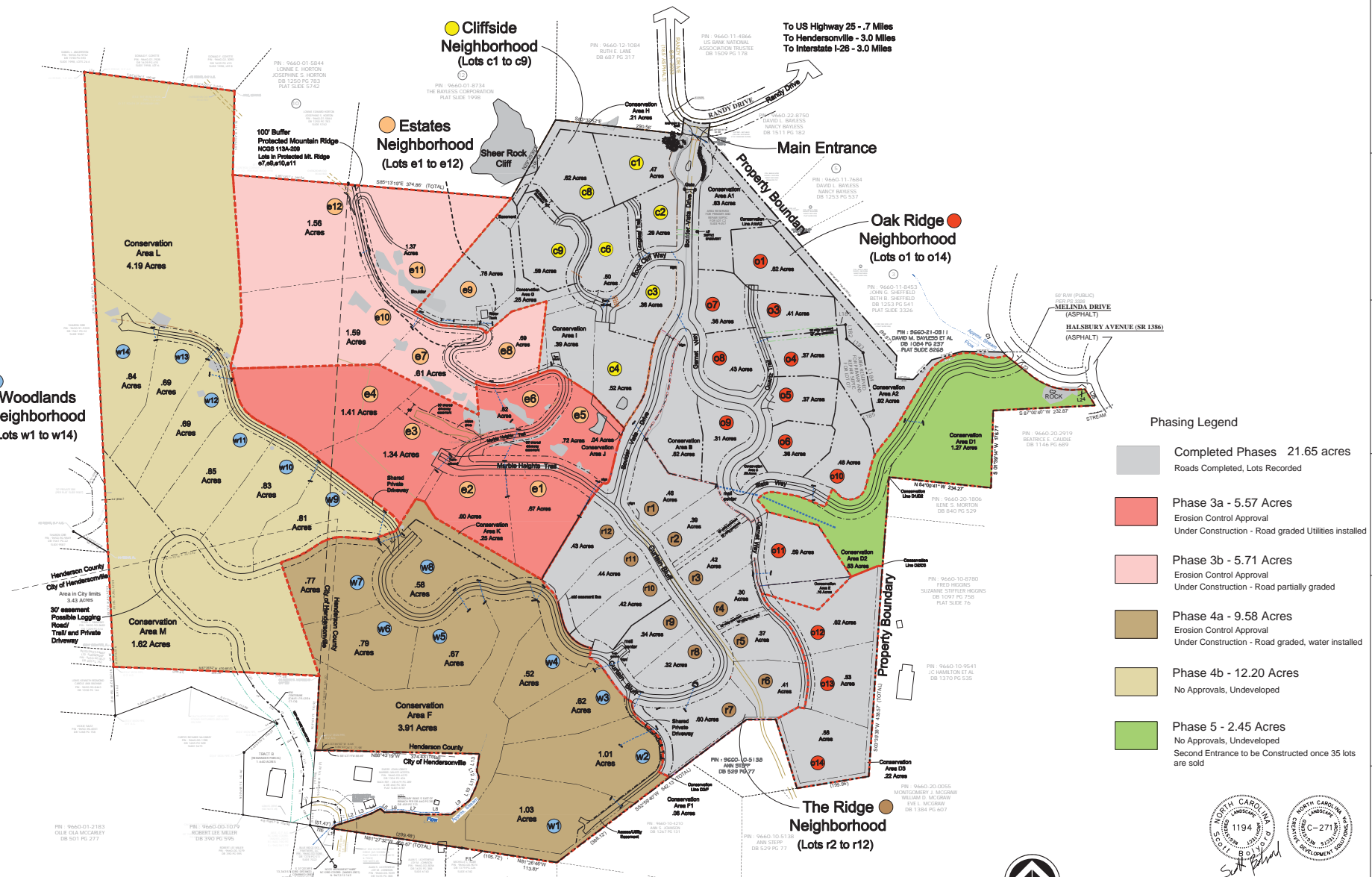
**Cliffside Neighborhood**  
(Lots c1 to c9)

**Estates Neighborhood**  
(Lots e1 to e12)

**Oak Ridge Neighborhood**  
(Lots o1 to o14)

**Woodlands Neighborhood**  
(Lots w1 to w14)

**The Ridge Neighborhood**  
(Lots r2 to r12)



**Phasing Legend**

- Completed Phases 21.65 acres  
Roads Completed, Lots Recorded
- Phase 3a - 5.57 Acres  
Erosion Control Approval  
Under Construction - Road graded Utilities installed
- Phase 3b - 5.71 Acres  
Erosion Control Approval  
Under Construction - Road partially graded
- Phase 4a - 9.58 Acres  
Erosion Control Approval  
Under Construction - Road graded, water installed
- Phase 4b - 12.20 Acres  
No Approvals, Undeveloped
- Phase 5 - 2.45 Acres  
No Approvals, Undeveloped  
Second Entrance to be Constructed once 35 lots are sold



North



SCALE : 1" = 100'-0"



**Client:**  
Cliffside at the Boulders, LLC  
**Peter Brower**  
6806 Via Regina  
Boca Raton, FL 33483



**Sheet:**  
Henderson County  
Development Plan  
Conservation Subdivision  
Phasing Plan

**Designed By:**  
**cds** Creative Development Solutions  
1001 4th Avenue South, Boca Raton, FL 33432  
Phone: 561-993-1111

**ISSUE DATE:** August 14, 2017  
**REVISIONS:**

**Project Number:**  
**SHEET NUMBER:** L3



End Shared Private Driveway - Phase 4b - Curtain Bluff 30' easement; 14' pavement

# Woodlands Neighborhood (Lots w1 to w14)

- Site Plan Legend**
- Site Visibility Triangle
  - Slopes over 60%
  - Completed Phases  
Roads Completed, Lots Recorded

### Allowed Reductions

\*60' (Asterisk) indicates a requested reduction in center line of curve radii for private local, and private collector residential subdivision roads due to steep topography and at least 20% cross slope.

Slopes steeper than 60% slope, typ.

**Lot Setback Requirements**  
 Front Building Setback = 5'  
 Side Building Setback = 10'  
 Rear Building Setback = 10'

### Development Notes

- Existing Contours as shown at 2' (field) for Randy Drive Entrance, Melinda Drive Entrance and Cliffside Lots (C1-C9). Topo is 5' (aerial) intervals for rest of the project.
- There are no known flood hazards, floodways or floodplains on the project.
- Project is located in Mountain Home Fire District. Project is less than 5 miles to station.
- All homes/buildings must use 13 D sprinkler systems.
- Road names have been finalized with the County Property Addressing.
- There are no known farmland preservation districts adjacent to the property.
- A 10' Drainage and Utility Easement is reserved along all lot lines, 5' either side of interior lot lines and 10' inside of exterior lot lines.

**Phase 4a and 4b - Tree Summary**  
 903' Curtain Bluff = 37 Street Trees Required, 37 credits provided

- Existing Trees to Remain
- 16" maple(4) Type of tree (Number of tree credits)

Begin Shared Private Driveway - Phase 4b - Curtain Bluff 30' easement; 14' pavement

### Overall Project Summary

Current Zoning Classification = R1  
 Total Project Area = 57.32 Acres  
 Number of Proposed Lots = 58  
 Density of Master Plan = 1.03 Lots Per Acre  
 Permitted Density of Property = 4 Units Per Acre  
 Acreage of Land with 60% slopes or greater = 13.2 acres  
 Minimum Lot size in square feet = 12,553 s.f. - Lot C2  
 Length of proposed private roads = 4,667 l.f.  
 Length of proposed private shared driveways = 3,838 l.f.  
 Proposed Water System = Public Connection, Private System (City of Hendersonville from Melinda Drive)  
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 26.6% of project area  
 All open space areas are greater than 30% = primary conservation  
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 Conservation Use = undeveloped woodland / underground utilities  
 Contiguous conservation areas = D1, D2, D3, E, F, and M  
 Total of 7.73 acres = 51% of provided  
 There are no agricultural operations on this site.



**Note:**  
 All homes/buildings must use 13 D sprinkler systems.

0' 60' 120' 240' 360'  
 SCALE: 1" = 60'-0"

**Owner:** Cliffside at the Boulders, LLC  
**Peter Brower**  
 6806 Via Regina  
 Boca Raton, FL 33439

**Project:** The Boulders

**Sheet:** Development Plan Conservation Subdivision Phase 4a and 4b Site Plan

**Designed By:** cds Creative Development Solutions  
 11600 Peachtree Industrial Blvd., Suite 200  
 Atlanta, GA 30329  
 Phone: 404.251.1000  
 Fax: 404.251.1001

**ISSUE DATE:** August 14, 2017

**REVISIONS:**

NO.	DATE	DESCRIPTION

**DESIGNED BY:** [Signature]  
**CHECKED BY:** [Signature]  
**IN CHARGE:** [Signature]  
**APPROVED BY:** [Signature]

Project Number: \_\_\_\_\_  
 SHEET NUMBER: L4



End Shared Private Driveway - Phase 4a - Curtain Bluff  
30' easement; 14' pavement

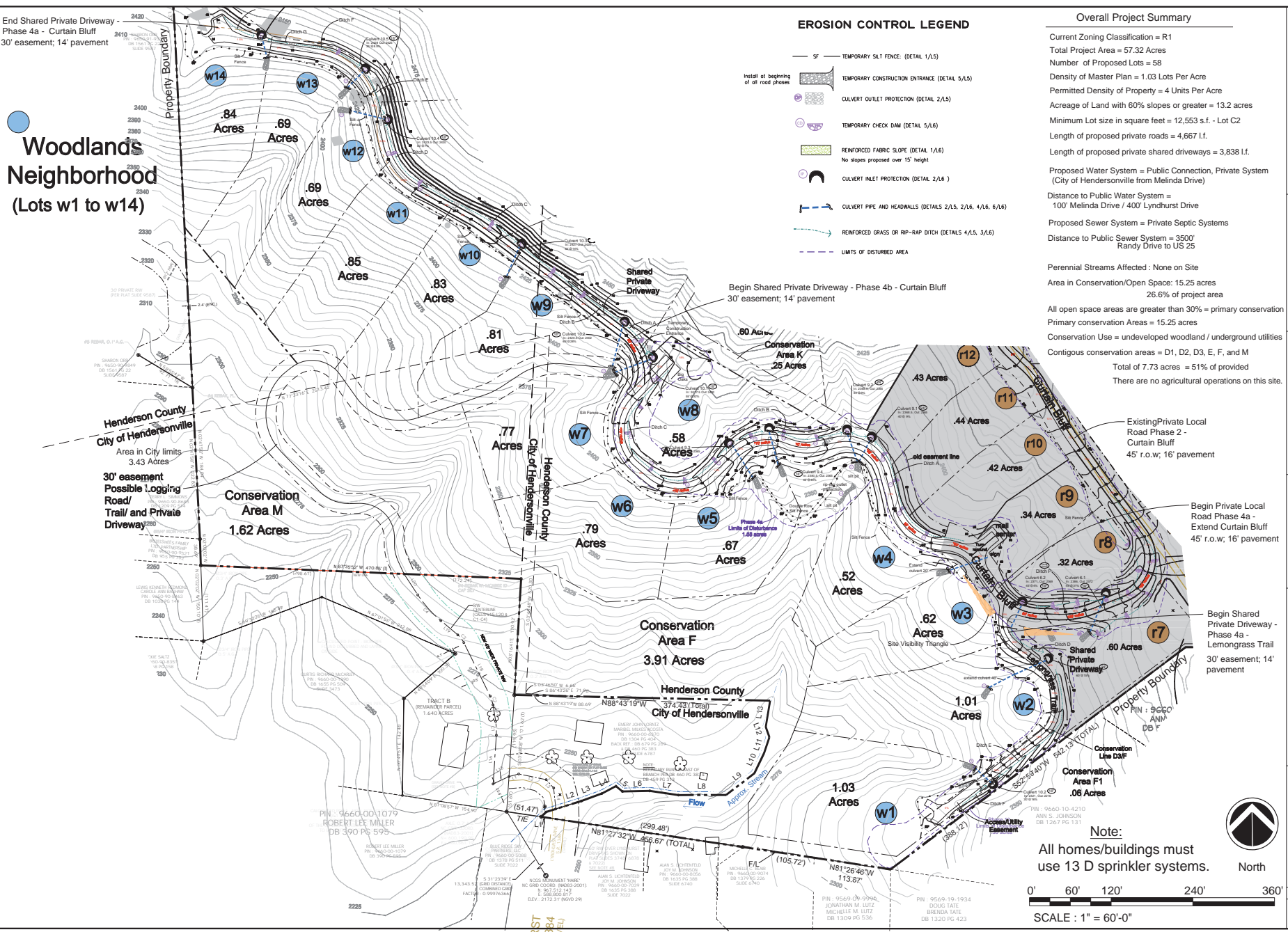
# Woodlands Neighborhood (Lots w1 to w14)

## EROSION CONTROL LEGEND

- SF — TEMPORARY SILT FENCE (DETAIL 1/A/5)
- Install at beginning of all road phases
- TEMPORARY CONSTRUCTION ENTRANCE (DETAIL 5/A/5)
- CULVERT OUTLET PROTECTION (DETAIL 2/L/5)
- TEMPORARY CHECK DAM (DETAIL 5/A/6)
- REINFORCED FABRIC SLOPE (DETAIL 1/A/6)  
No slopes proposed over 15' height
- CULVERT INLET PROTECTION (DETAIL 2/L/6)
- CULVERT PIPE AND HEADWALLS (DETAILS 2/L/5, 2/L/6, 4/L/6, 6/L/6)
- REINFORCED GRASS OR RIP-RAP DITCH (DETAILS 4/L/5, 3/L/6)
- LIMITS OF DISTURBED AREA

## Overall Project Summary

Current Zoning Classification = R1  
 Total Project Area = 57.32 Acres  
 Number of Proposed Lots = 58  
 Density of Master Plan = 1.03 Lots Per Acre  
 Permitted Density of Property = 4 Units Per Acre  
 Acreage of Land with 60% slopes or greater = 13.2 acres  
 Minimum Lot size in square feet = 12,553 s.f. - Lot C2  
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 Total of 7.73 acres = 51% of provided  
 There are no agricultural operations on this site.



Other Comments:  
 Management  
 Access and Easements  
 Survey  
 City Engineer

Owner:  
 Cliffside at the Boulders, LLC  
 Peter Brower  
 6806 Via Regina  
 Boca Raton, FL 33439

Project:  
 The Boulders

Sheet:  
 Development Plan  
 Conservation Subdivision  
 Phase 4a and 4b  
 Grading Drainage Plan

Designed By:  
 Creative Development Solutions  
 224 South Grove Avenue, Hendersonville, NC 28633  
 704.895.0001 | www.creative-dev.com

ISSUE DATE: 8/28/17  
 REVISIONS:  
 DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 APPROVED BY: [Signature]

Note:  
 All homes/buildings must use 13 D sprinkler systems.

0' 60' 120' 240' 360'  
 SCALE: 1" = 60'-0"



North

### Development Notes

- Existing Contours as shown at 2' (field) for Randy Drive Entrance, Melinda Drive Entrance and Cliffside Lots (C1-C9). Topo is 5' (aerial) intervals for rest of the project.
- There are no known flood hazards, floodways or floodplains on the project.
- Project is located in Mountain Home Fire District. Project is less than 5 miles to station.
- All homes/buildings must use 13 D sprinkler systems.
- Road names have been finalized with the County Property Addressing.
- There are no known farmland preservation districts adjacent to the property.
- A 10' Drainage and Utility Easement is reserved along all lot lines, 5' either side of interior lot lines and 10' inside of exterior lot lines.

**Lot Setback Requirements**  
 Front Building Setback = 5'  
 Side Building Setback = 10'  
 Rear Building Setback = 10'

#### Allowed Reductions

\*60' (Asterisk) indicates a requested reduction in center line of curve radii for private local, and private collector residential subdivision roads due to steep topography and at least 20% cross slope.

**Phase 1 Area Complete**  
 shown in gray color

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 There are no agricultural operations on this site.

Other Consultants  
 Management  
 Architecture Associates  
 Survey  
 Civil Engineer

Owner:  
 Cliffside at the Boulders, LLC  
 Peter Brower  
 6806 Via Regina  
 Boca Raton, FL 33439



Project:  
 Development Plan  
 Conservation Subdivision  
 Phase 3a and 3b Site Plan

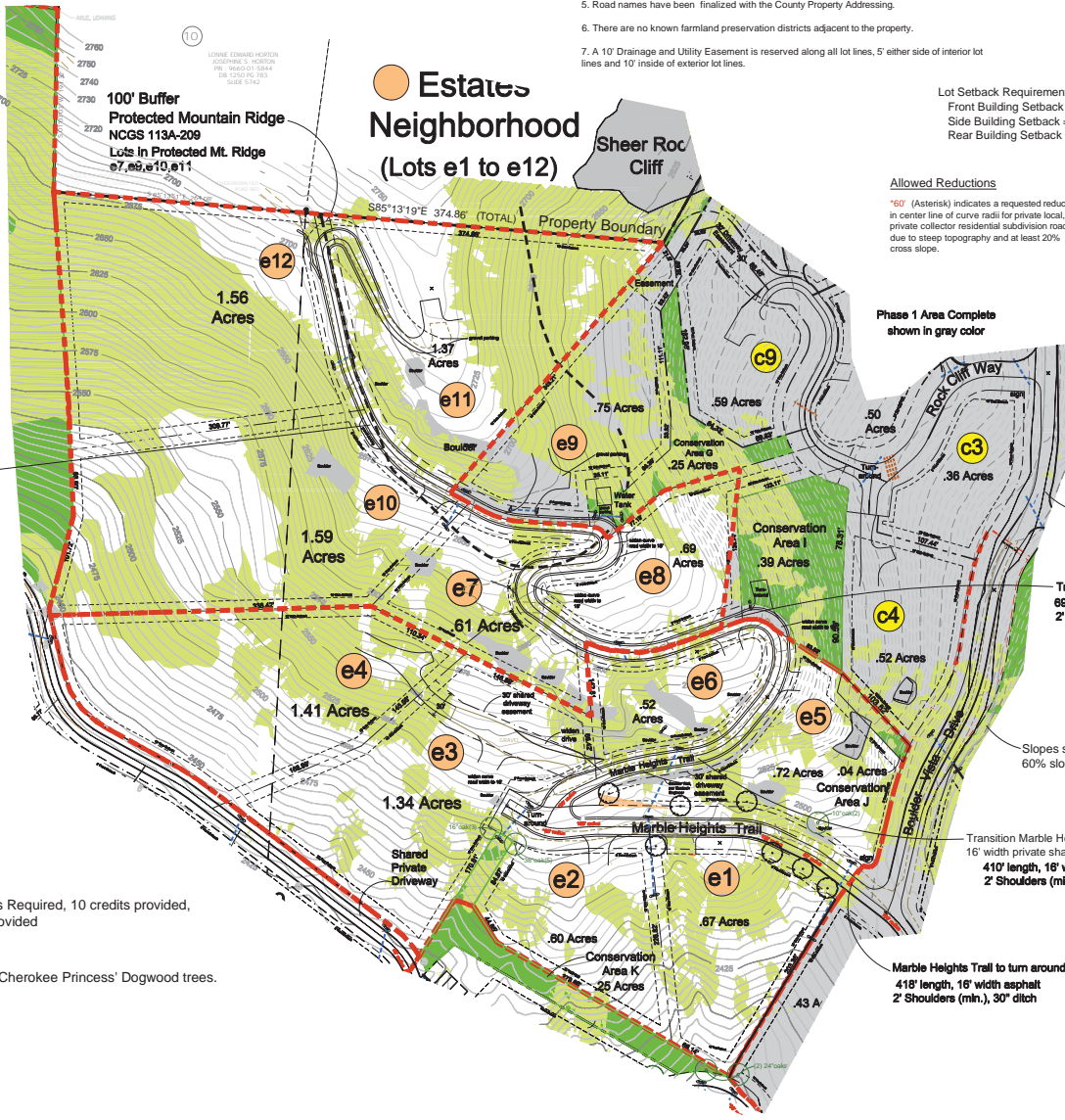
Designed By:  
 Creative  
 Developments  
 Solutions  
 Landscape Architecture | Land Planning | Community and Street Design  
 224 South progressive boulevard, north central 28972  
 704.949.0001 | 910.949.0001

August 14, 2017  
 ISSUE DATE: [ ]  
 REVISIONS: [ ]  
 PREPARED BY: [ ]  
 DRAWN BY: [ ]  
 APPROVED BY: [ ]

Project Number:  
 SHEET NUMBER:  
 L6

### Site Plan Legend

- Site Visibility Triangle
- Slopes over 60%
- Completed Phases  
 Roads Completed, Lots Recorded



Transition Marble Heights Trail to 12' width  
 380' length, 12' width asphalt  
 2' Shoulders (min.), 2' ditch

Existing Boulder Vista Way  
 18' width asphalt, 2' shoulders

Transition Marble Heights Trail to 14' width  
 685' length, 14' width asphalt  
 2' Shoulders (min.), 2' ditch

Slopes steeper than  
 60% slope, typ.

Transition Marble Heights Trail to  
 16' width private shared driveway  
 410' length, 16' width asphalt  
 2' Shoulders (min.), 2' ditch

Marble Heights Trail to turn around  
 418' length, 16' width asphalt  
 2' Shoulders (min.), 30" ditch

**Note:**  
 All homes/buildings must  
 use 13 D sprinkler systems.



### Phase 4 Street Tree Summary

Marble Height Trail 430' = 17 Street Trees Required, 10 credits provided,  
 7 new trees provided

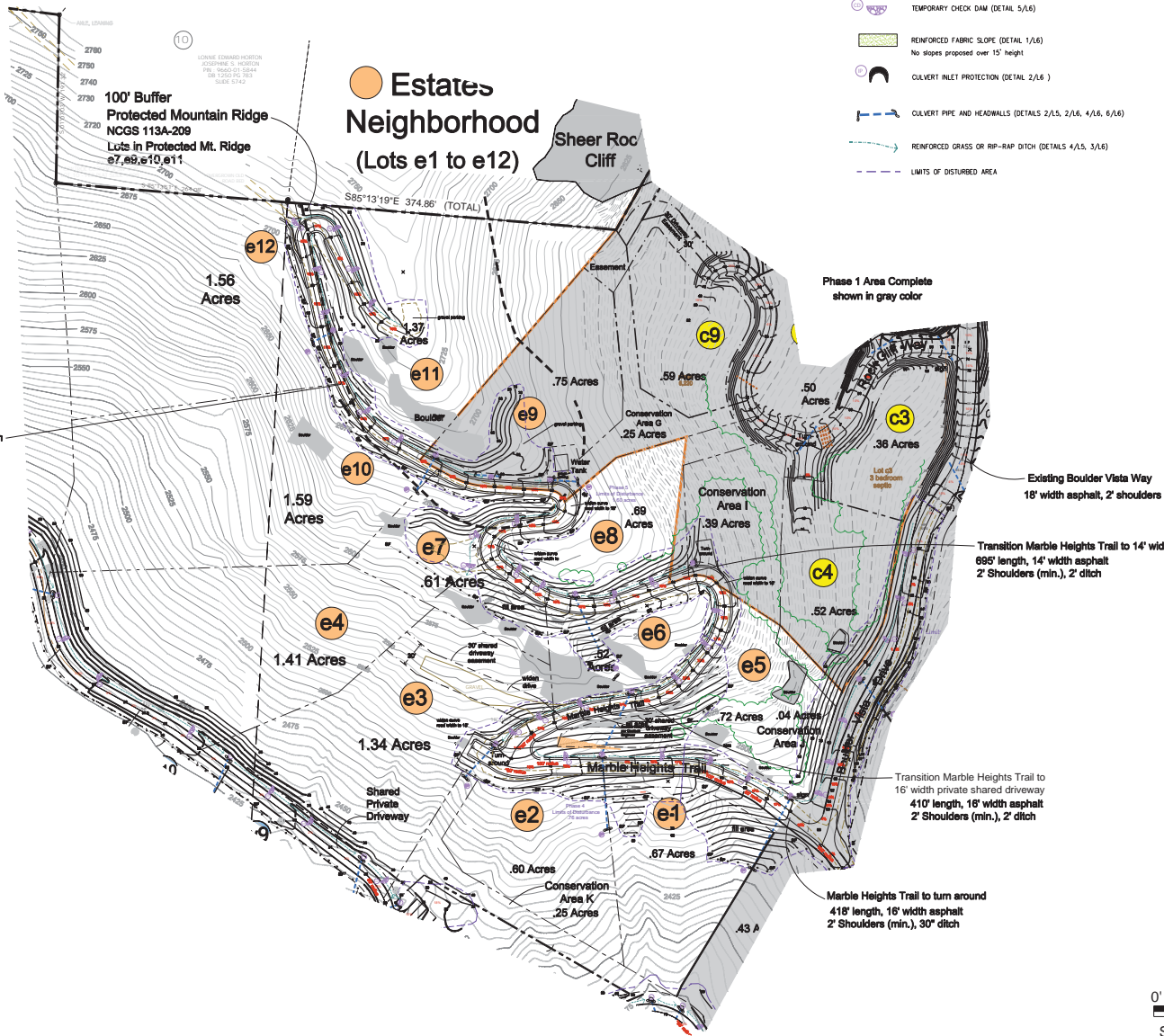
Proposed Trees - (7) total Cornus florida 'Cherokee Princess' Dogwood trees.  
 1-1/2" caliper, 9' height

Existing Trees to Remain

16" maple(4) Type of tree (Number of tree credits)







**EROSION CONTROL LEGEND**

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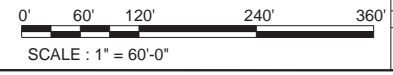
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 410' length, 16' width asphalt  
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Marble Heights Trail to turn around  
 418' length, 16' width asphalt  
 2' Shoulders (min.), 30" ditch

**Site Plan Legend**

- Completed Phases
- Roads Completed, Lots Recorded

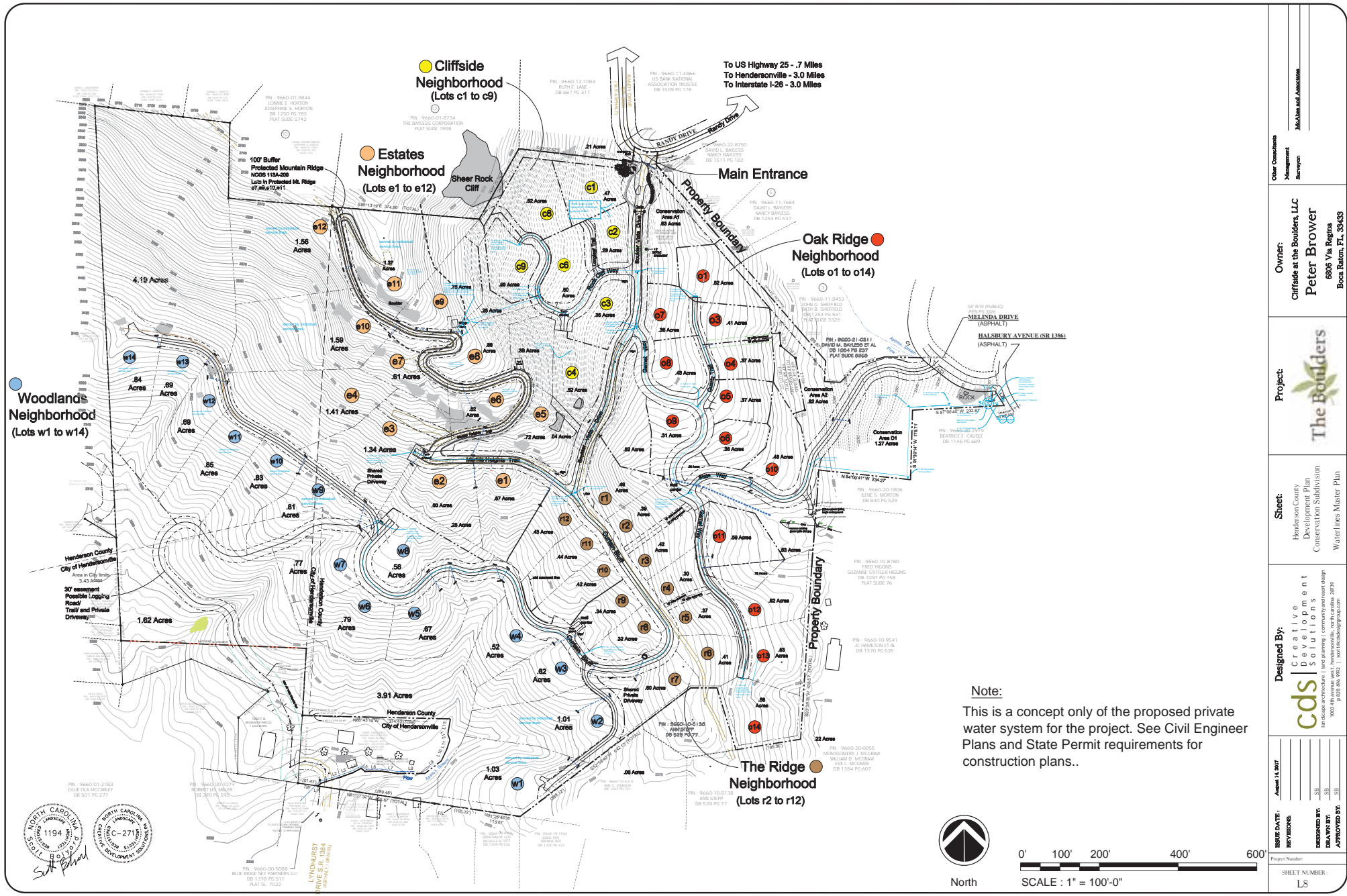
**Note:**  
 All homes/buildings must use 13 D sprinkler systems.



<p>Other Comments</p> <p>Management</p> <p>Approval</p> <p>City Engineer</p>	<p>McMahon Associates</p> <p>City Engineer</p>
<p>Owner:</p> <p><b>Ciffside at the Boulders, LLC</b></p> <p><b>Peter Brower</b></p> <p>6806 Via Regina</p> <p>Boca Raton, FL 33439</p>	<p>Project:</p> <p><b>The Boulders</b></p>
<p>Sheet:</p> <p>Development Plan</p> <p>Conservation Subdivision</p> <p>Phase 4a and 4b</p> <p>Grading Drainage Plan</p>	<p>Designed By:</p> <p><b>cds</b> Creative Developments Solutions</p> <p>224 South Providence Road, Hendersonville, North Carolina 28939</p> <p>734.249.0001   289.699.0001</p>
<p>ISSUE DATE:</p> <p>REVISIONS:</p> <p>DESIGNED BY:</p> <p>DRAWN BY:</p> <p>APPROVED BY:</p>	<p>August 14, 2017</p> <p>SR</p> <p>SR</p> <p>SR</p>
<p>Project Number:</p> <p>SHEET NUMBER:</p>	<p>L7</p>



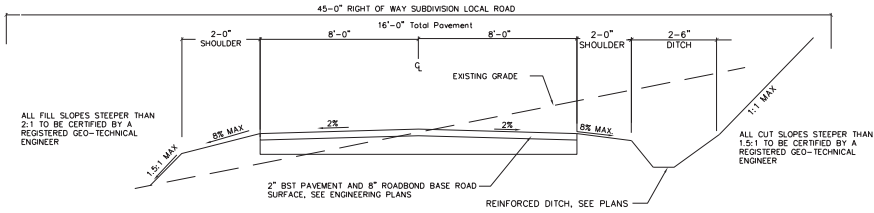




**Note:**  
 This is a concept only of the proposed private water system for the project. See Civil Engineer Plans and State Permit requirements for construction plans..



ISSUE DATE:	ASIAN 11.2017
REVISIONS:	
DESIGNED BY:	
DRAWN BY:	
APPROVED BY:	
PROJECT NUMBER:	LS
Other Comments: Management: Survey: Owner: Cliffside at the Boulders, LLC Peter Brower 6806 1/2 Raega Boca Raton, FL 33463 Project: The Boulders Sheet: Henderson County Development Plan Conservation Subdivision Waterlines Master Plan Designed By: Cds Creative Developments Solutions 1000 1st Avenue West, Hendersonville, North Carolina 28759 Phone: 828.439.1111   info@cdsdesign.com	



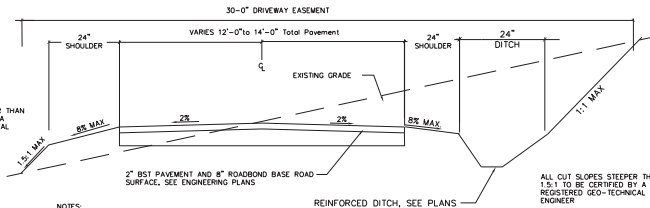
ALL FILL SLOPES STEEPER THAN 2:1 TO BE CERTIFIED BY A REGISTERED GEO-TECHNICAL ENGINEER

ALL CUT SLOPES STEEPER THAN 1.5:1 TO BE CERTIFIED BY A REGISTERED GEO-TECHNICAL ENGINEER

- NOTES:
1. ROAD SHALL BE CROWNED IN A DOUBLE CUT SITUATION.
  2. ROAD SHALL BE CROWNED IN A DOUBLE FILL SITUATION.
  3. ROAD SHALL BE SLOPED TOWARD CUT BANK WHERE A CUT AND FILL SITUATION OCCURS.
  4. ALL ROADS TO RECEIVE TEMPORARY 12' WIDE GRAVEL SURFACE CONSISTING OF 6" DEPTH NCDOT "ABC" STONE AS EROSION CONTROL, MEASURE DURING CONSTRUCTION.
  5. ALL MATERIALS AND ROAD CONSTRUCTION TO MEET CURRENT NCDOT STANDARDS FOR CONSTRUCTION.

NOTE: REDUCTION OF SHOULDER SIZE IS SHOWN FOR ALL ROADS ON EXISTING GRADES STEEPER THAN 20% CROSS SLOPE.

1 PROPOSED TYPICAL LOCAL ROAD SECTION  
N.T.S.



ALL FILL SLOPES STEEPER THAN 2:1 TO BE CERTIFIED BY A REGISTERED GEO-TECHNICAL ENGINEER

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NOTE: SEE LOCATIONS OF CURVES TO WIDEN TO 18'. ALSO NOTE AREAS OF WIDTH TRANSITION WITHIN DRIVEWAY LENGTHS.

2 PROPOSED TYPICAL PRIVATE DRIVEWAY  
N.T.S.



Figure 30. Alternative Turnaround Design - Bank Easement



Figure 31. Alternative Turnaround Design - Private Easement



Other Comments  
Management  
Surveys

Johnson and Associates

Owner:  
Cliffside at the Boulders, LLC  
Peter Brower  
6806 1/2 Repps  
Boca Raton, FL 33483



Sheet:  
Henderson County  
Development Plan  
Conservation Subdivision  
Details

Designed By:  
Creative Development Solutions  
cads  
landscape architecture | land planning | community and resort design  
1001 4th Avenue West, Hendersonville, North Carolina 28039  
p: 704.942.0001 | info@creativedevelopmentsolutions.com

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Prepared By: SSB  
Checked By: SSB  
Approved By: SSB

Project Number:  
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L9