

**REQUEST FOR COMMITTEE ACTION**  
**HENDERSON COUNTY**  
**TECHNICAL REVIEW COMMITTEE**

**MEETING: August 2, 2016**

**SUBJECT: Major Site Plan**

**PRESENTER: Toby Linville**

**ATTACHMENTS: Staff Report**

**SUMMARY OF REQUEST: Major site plan review for Warehousing and Storage**

**SUGGESTED MOTION :**

**I move to approve the major site plan for MJM Construction.**



## Henderson County, North Carolina Code Enforcement Services

### 1. Committee Request

- 1.1. **MJM Construction**
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9588342025
- 1.4. **Size:** 1.22 acres +/-
- 1.5. **Location:** Reeds Way at McMurray Rd
- 1.6. **Supplemental Requirements:**

#### **SR 9.15. Warehousing and Storage (Excluding Warehousing of Hazardous Substances)**

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Dust Reduction. Unpaved *roads, travelways* and/or parking areas shall be treated to prevent dust from adverse effects to adjacent properties.

### Map A: Pictometry/Aerial Photography



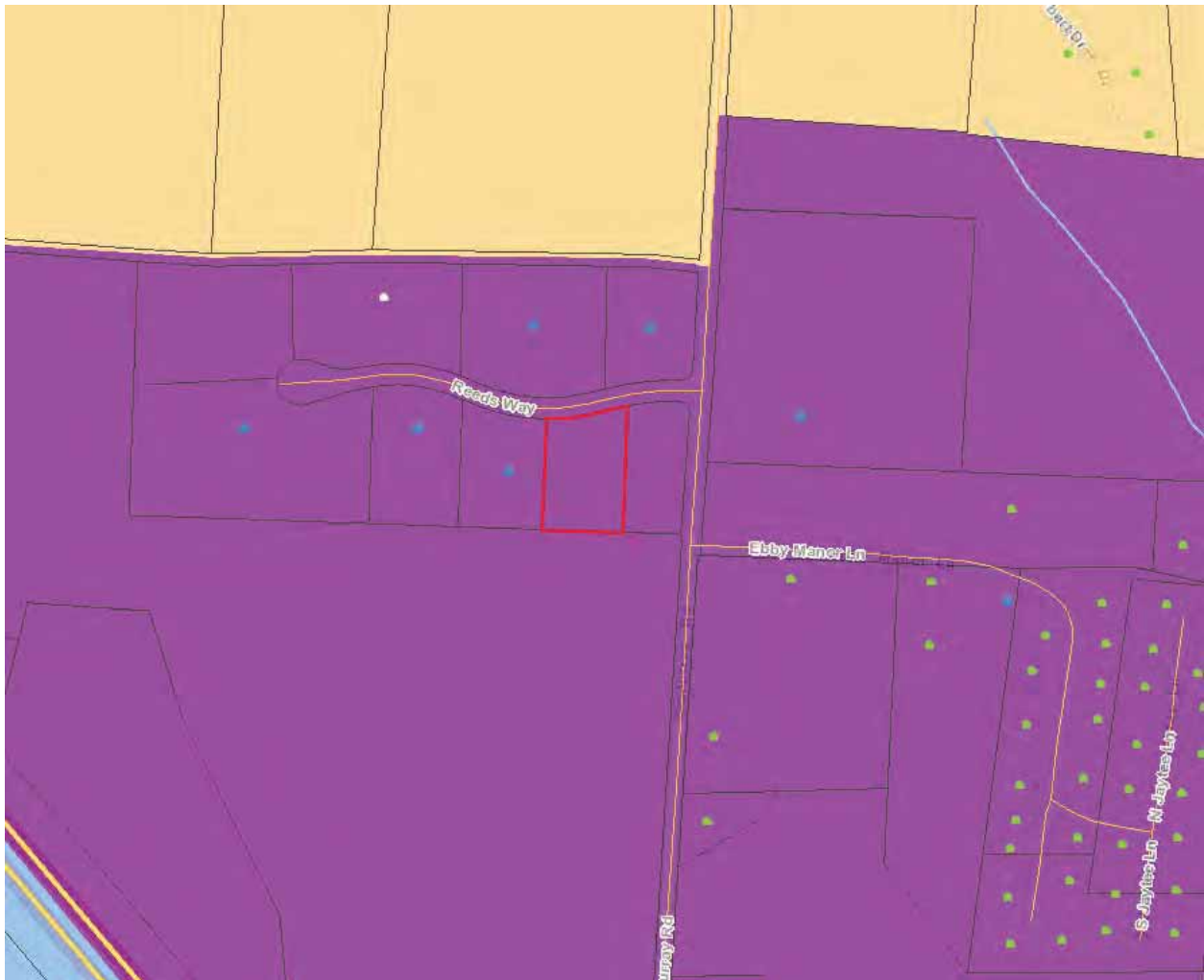
**2. Current Conditions**

**Current Use:** This parcel is currently vacant.

**Adjacent Area Uses:** The surrounding properties are industrial and residential and agricultural.

**Zoning:** The surrounding properties south are Industrial and north are Residential Two Rural.

**Map B: Current Zoning**



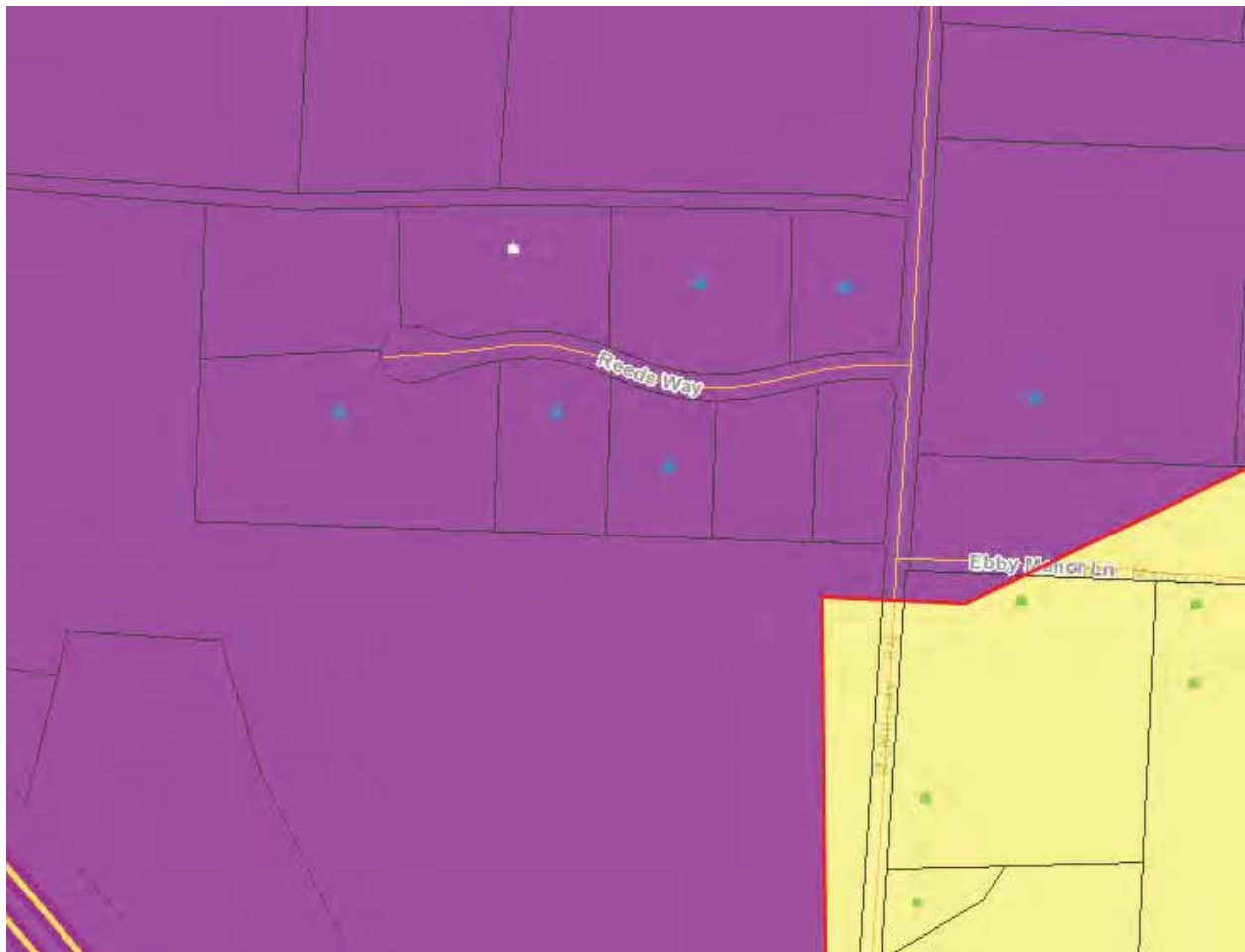
**3. Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

**4. Water and Sewer** This property is served by public water and sewer.

**Public Water:** City of Hendersonville

**Public Sewer:** City of Hendersonville

**Map C: CCP Future Land Use Map**



**5. Comprehensive Plan**

**The 2020 CCP:** The CCP Future Land Use Map places the Subject Area in the Industrial Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

Most defined industrial areas should lie within the Urban Services Area, and in other areas on a very limited basis. Most industrial uses should be segregated from other uses with the exception of Regional Commercial uses. Industrial areas depicted on Map # 24, *Future Land Use Map* are derived from existing industrial zoning districts, as well as from those area depicted upon Map # 8, “*Committee of 100*” *Recommended Industrial Development Zones*. It is intended that the *Countywide Industrial / Commercial Zoning Study* and Community Plans will further refine the location, extent, and intensity of future industrial areas.

**6. Staff Recommendations**

Staff’s Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

**7. Photographs**



2016/07/21  
12:05





2016/07/21  
12:06





2016/07/21  
12:04





2016/07/21  
12:05

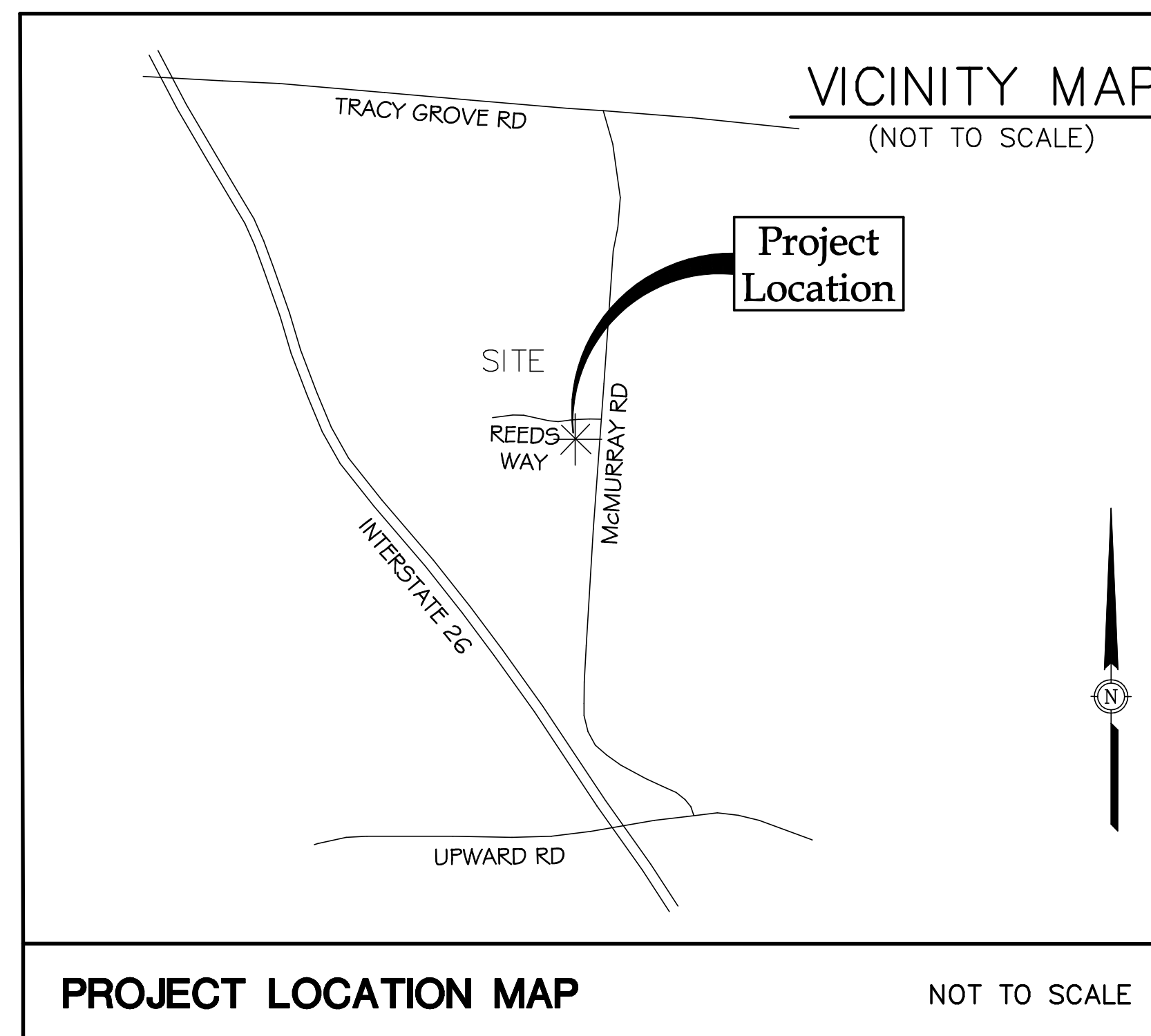
# New Facilities for

# MJM CONSTRUCTION

# HENDERSON COUNTY, NORTH CAROLINA

OWNER/DEVELOPER: TWIN WEST CAPITAL, LLC  
10 DOVE LANE  
HENDERSONVILLE, NC 28739

CONTACT: MR. MICHAEL MENTCH

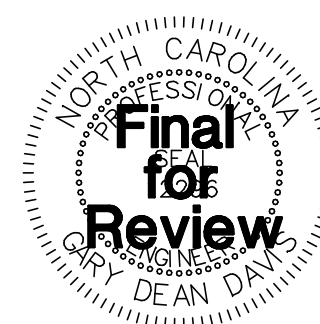


## INDEX OF DRAWINGS

- G1. COVER SHEET & VICINITY MAP
- C1. EXISTING CONDITIONS
- C2. OVERALL LAYOUT
- C3. GRADING, STORM DRAIN & EROSION CONTROL
- C4. UTILITIES
- D1. DETAILS
- D2. DETAILS
- D3. DETAILS



**Davis CivilSolutions, PA**  
Site/Infrastructure • Engineering/Planning  
134-A Charlotte Highway • Asheville, North Carolina 28803  
828.299.9449 PH • www.daviscivilsolutions.com



JUNE, 2016

REVISION	DATE	DESCRIPTION

NOTES

1. REFERENCES - DEED BOOK 1570, PAGE 230  
PLAT \_\_\_\_\_, SLIDE 7390, 7984, 9221
2. AREA DETERMINED BY COORDINATE COMPUTATION
3. MAP IS FOR RECORDATION
4. NORTH ARROW SHOWN IS OBTAINED FROM MAGNETIC OBSERVATION UNLESS OTHERWISE SHOWN
5. MINIMUM SETBACKS  
FRONT 20'  
REAR 20' ZONED INDUSTRIAL  
SIDE 20'
6. THIS MAP IS NOT TRANSFERABLE, AND MAY NOT BE USED BY ANY OTHER PERSON OR ENTITY WITHOUT WRITTEN AUTHORIZATION BY LAUGHTER, AUSTIN AND ASSOC., P.A. THE MAP IS PROVIDED FOR THE USE OF THE PARTIES NAMED HEREON.
7. This project is located within 1/2 mile of land in a Farmland Preservation District.

LEGEND

- I.P. SET - IRON PIPE SET
- I.S. SET - IRON STAKE SET
- E.I.P. - EXISTING IRON PIPE
- E.I.S. - EXISTING IRON STAKE
- E.C.M. - EXISTING CONCRETE MARKER
- PK - NAIL MARKER
- X-X- - APPROXIMATE FENCE LOCATION
- CL - CENTER LINE (ROAD, STREET, STREAM, ETC.)
- M/H - MANHOLE
- P/P - POWER POLE AND/OR TELEPHONE POLE
- R/R - RAILROAD
- R - RADIUS
- L - LENGTH OF CURVE
- D.I. - DROP INLET
- R.O.W. - RIGHT OF WAY

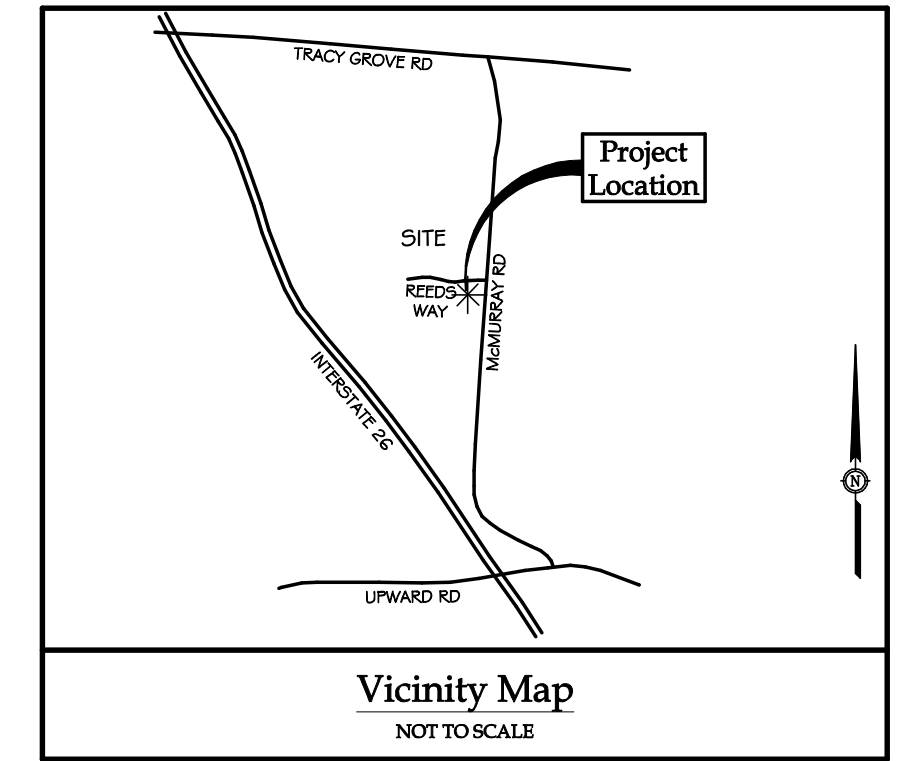
9 & 10

Flat Rock 89 LLC  
D.B. 1603, Pg. 242  
Plat Slide 9574

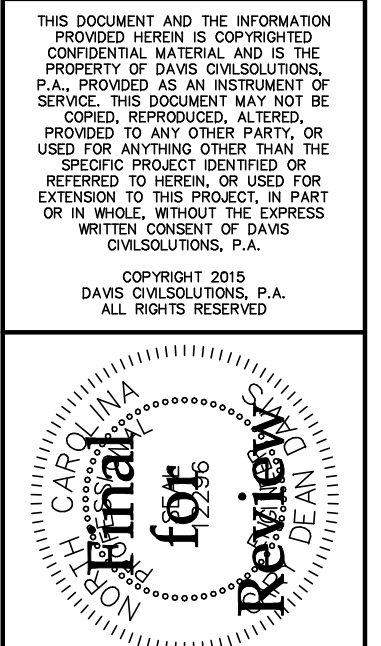
11

Benjamin Belue Holdings LLC  
D.B. 1591, Pg. 590  
Plat Slide 9079

REEDS WAY  
50' R.O.W.  
PUBLIC



DEVELOPMENT DATA BLOCK	
OWNER/DEVELOPER:	TWIN WEST CAPITAL, LLC
CONTACT:	MICHAEL MENTCH
PHONE:	
ADDRESS:	10 DOVE LANE HENDERSONVILLE, NC 28739
PIN:	9588-34-2025
PHYSICAL ADDRESS:	LOT #2, REEDS WAY BLUE ROCK COMMERCE CENTER
PROPERTY SIZE:	122 ACRES
ZONING DISTRICT:	INDUSTRIAL
DISTURBED AREA:	38240 SF (0.88 AC)
IMPERVIOUS AND PERVIOUS AREAS:	<p>PRE DEVELOPMENT:</p> <p>IMPERVIOUS AREA = 0.00 SQ. FT. (0.00 AC) % SITE IMPERVIOUS = 00.00%</p> <p>PERVIOUS AREA = 5343.20 SQ. FT. (122 AC) % SITE PERVIOUS = 100.00%</p> <p>POST DEVELOPMENT:</p> <p>IMPERVIOUS AREA = 20232.64 SQ. FT. (0.46 AC) % SITE IMPERVIOUS = 38.00%</p> <p>PERVIOUS AREA = 32905.56 SQ. FT. (0.76 AC) % SITE PERVIOUS = 62.00%</p>
DRAINAGE AREA:	ON-SITE DRAINAGE AREA: 12,456.60 SF OFF-SITE DRAINAGE AREA: 0 SF TOTAL DRAINAGE AREA: 12,456.60 (0.29 AC)
SOILS INFORMATION:	HAYESVILLE LOAM, 2 TO 7% SLOPE

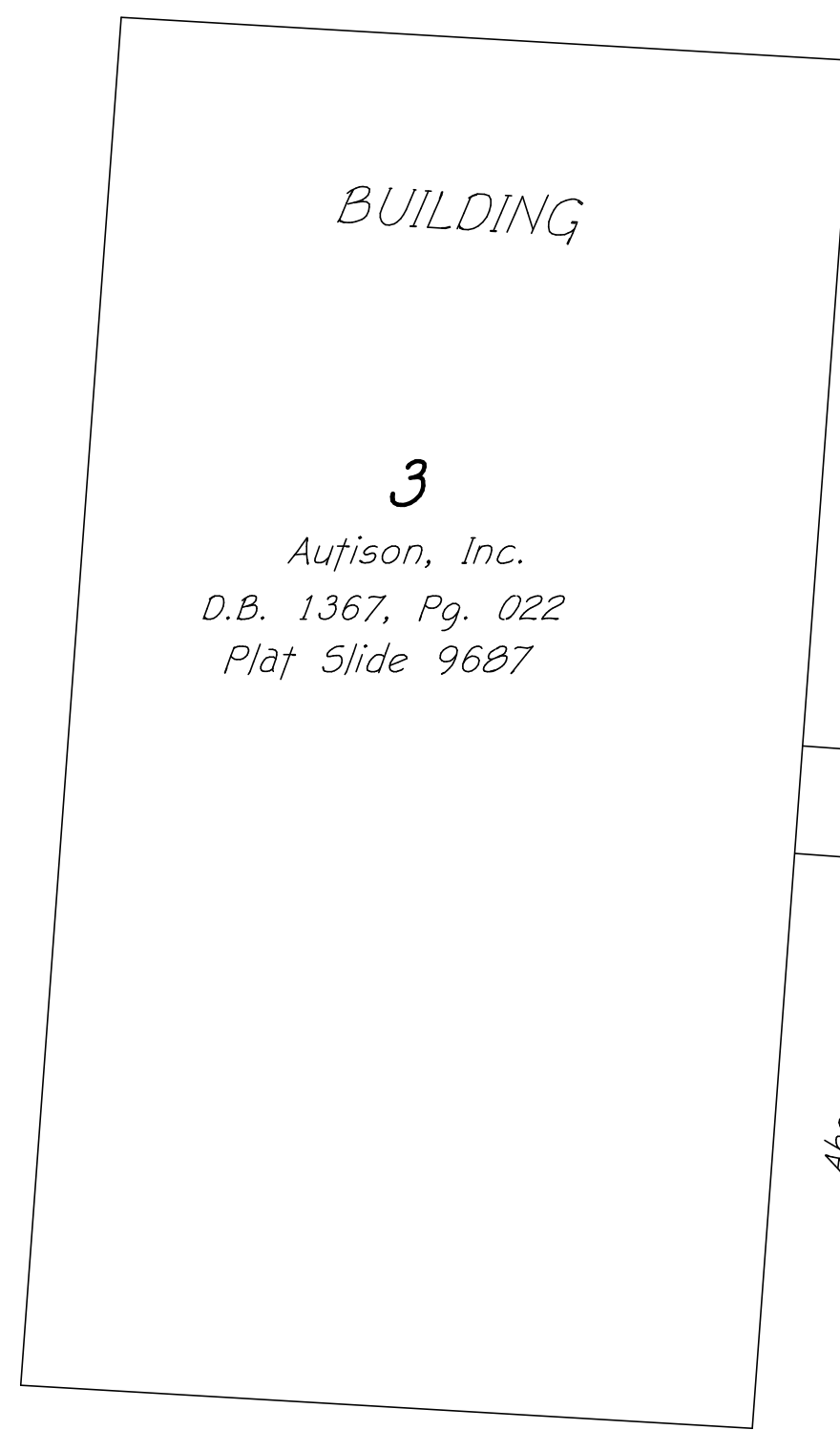


New Facilities For  
**MJM CONSTRUCTION**  
HENDERSON COUNTY, NORTH CAROLINA

16126  
Date: June 6, 2016  
Scale: 1" = 20'  
Revision:

Existing Conditions

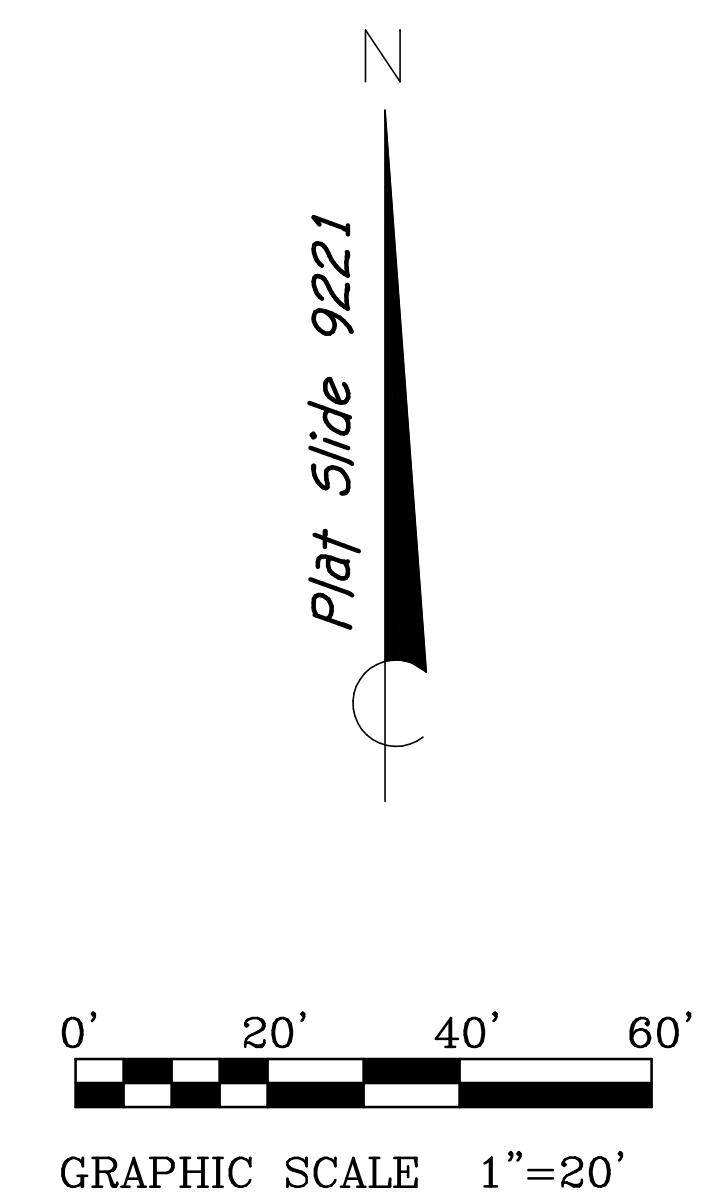
Sheet  
**C1**



1.22 AC.

CURVE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	475.00'	N 84°25'09" E	134.96'	135.42'
C2	624.07'	N 79°02'14" E	60.65'	60.68'

John A. Hudgens, Jr. Family Limited Partnership  
D.B. 1367, Pg. 022







--- LEGEND ---

- No. 5 REBAR
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ RIP RAP OUTLET
- ⊗ SILT FENCE
- LIMITS OF CONSTRUCTION/DISTURBANCE
- RIGHT-OF-WAY
- ▨ MUD MAT
- ▨ PROPOSED BUILDING
- YARD INLET

BOUNDARY CURVE TABLE

CURVE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	475.00'	N 84°25'09" E	134.96'	135.42'
C2	624.07'	N 79°02'14" E	60.65'	60.68'

**9 & 10**  
 Flat Rock 09 LLC  
 D.B. 1603, Pg. 242  
 Plat Slide 9574

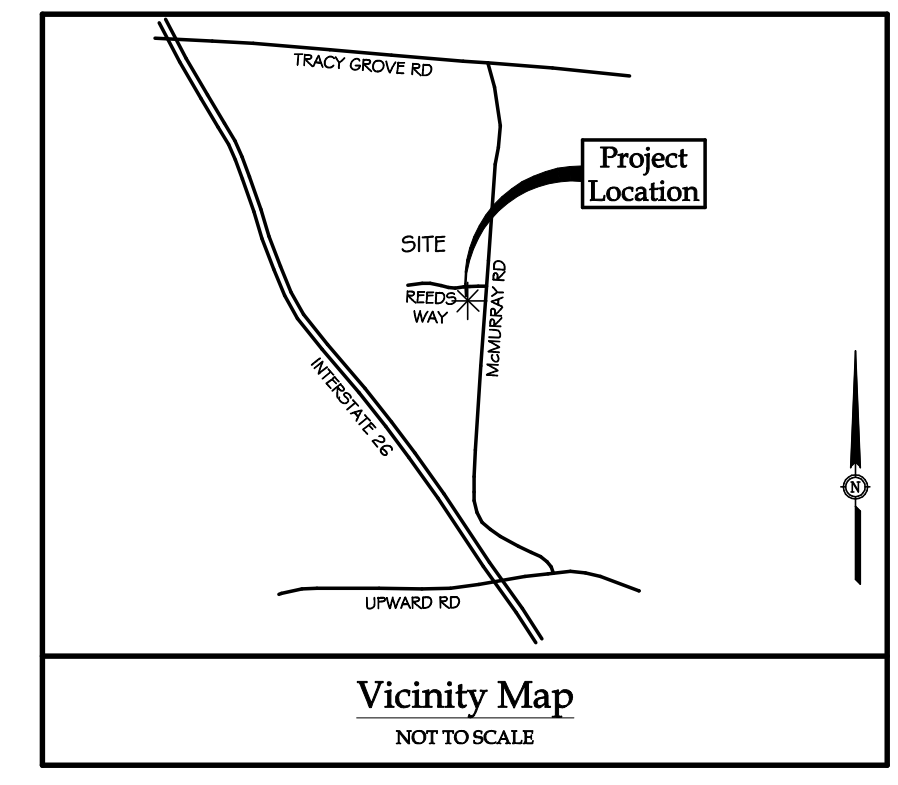
**11**  
 Benjamin Belue Holdings LLC  
 D.B. 1591, Pg. 590  
 Plat Slide 9079

TEMP. BENCHMARK  
 TOP OF CAPPED REBAR  
 ELEV. - 2171.4'

**3**  
 Autison, Inc.  
 D.B. 1367, Pg. 022  
 Plat Slide 9687

**1.22 AC.**  
 7500 SF.  
 BUILDING  
 FFE: 2170.5

**1**  
 TWIN WEST CAPITAL LLC  
 D.B. 1570, Pg. 230

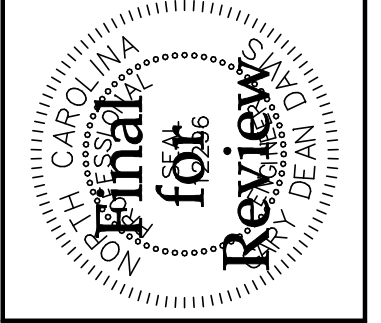


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DISTURBED AREA:	38240 SF (0.88 AC)
IMPERVIOUS AND PERVIOUS AREAS:	
PRE DEVELOPMENT:	
IMPERVIOUS AREA =	0.00 SQ. FT. (0.00 AC)
% SITE IMPERVIOUS =	00.00%
PERVIOUS AREA =	53443.20 SQ. FT. (1.22 AC)
% SITE PERVIOUS =	100.00%
POST DEVELOPMENT:	
IMPERVIOUS AREA =	20,232.64 SQ. FT. (0.46 AC)
% SITE IMPERVIOUS =	38.00%
PERVIOUS AREA =	32,910.56 SQ. FT. (0.76 AC)
% SITE PERVIOUS =	62.00%
DRAINAGE AREA:	
ON-SITE DRAINAGE AREA:	12,456.60 SF
OFF-SITE DRAINAGE AREA:	0 SF
TOTAL DRAINAGE AREA:	12,456.60 (0.29 AC)
SOILS INFORMATION:	HAYESVILLE LOAM, 2 TO 7% SLOPE

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New Facilities For  
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16126  
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Utilities

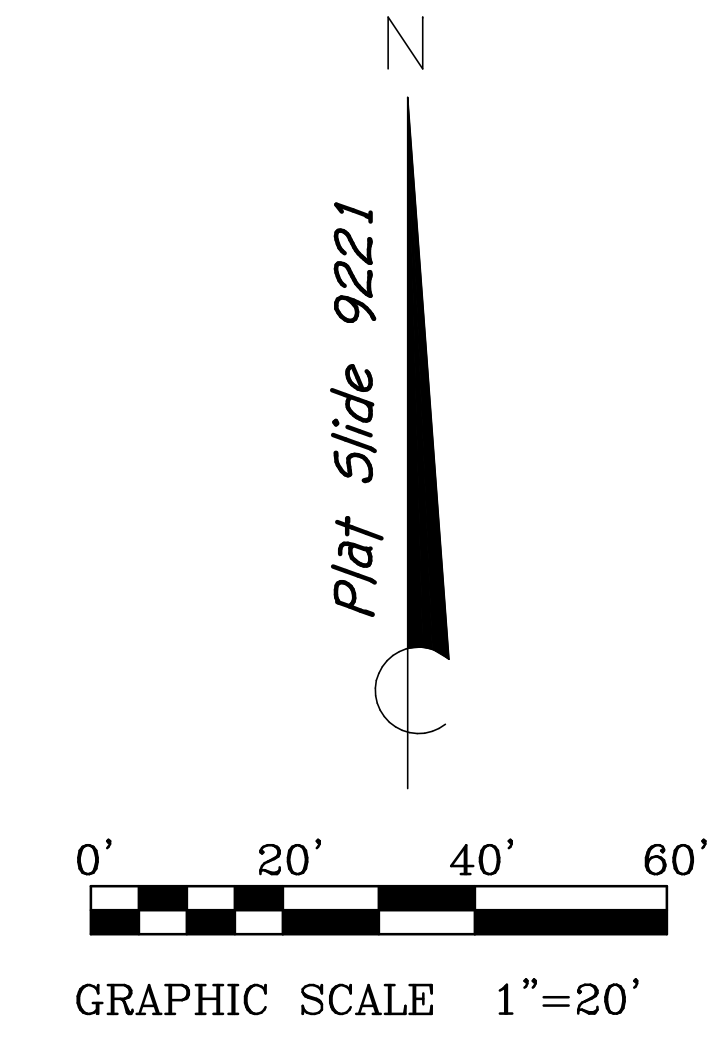
Sheet  
**C4**

E.C.M.  
 201.79'  
 N 86°04'18" W

DRIVEWAY CURVE TABLE

Curve	Radius	Chord Bearing and Distance	Arc Length	Tangent	Delta
C1	20.00'	S 41°-05'-01" E 28.28'	31.42'	20.00'	90°-00'-00°
C2	20.00'	N 48°-54'-59" E 28.28'	31.42'	20.00'	90°-00'-00°

John A. Hudgens, Jr. Family Limited Partnership  
 D.B. 1367, Pg. 022





**GENERAL CONSTRUCTION NOTES**

- FINISH GRADE TOLERANCES SHALL BE AS NOTED IN THE SPECIFICATIONS. THE ENGINEER MAY MAKE GRADE CHANGES AS REQUIRED IN THE FIELD WITHOUT EFFECTING THE UNIT BID PRICE FOR UNCLASSIFIED EXCAVATION.
- UNLESS OTHERWISE STATED, ALL FILL AREAS SHALL BE CONSTRUCTED IN LAYERS OF 8" MAXIMUM THICKNESS, WITH WATER ADDED OR SOIL CONDITIONED TO THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE ENGINEER AND COMPACTED WITH A SHEEP'S FOOT ROLLER TO A COMPACTION EQUAL TO OR GREATER THAN 95% (FOR IN THE TOP 2" OF THE SUB GRADE BELOW ROADWAYS, PARKING LOTS, AND SLABS) OF THE DENSITY OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH THE STANDARD PROCTOR METHOD OF MOISTURE-DENSITY RELATIONSHIP TEST, ASTM D698 OR AASHTO-99 UNLESS SPECIFIED IN OTHER SPECIFICATIONS. COPIES OF COMPACTION REPORTS SHALL BE PROVIDED TO THE LOCAL REGULATORY AGENCY, WHERE REQUIRED.
- ENTIRE AREA TO BE GRADED SHALL BE CLEARED AND GRUBBED. NO FILL SHALL BE PLACED ON ANY AREA NOT CLEARED AND GRUBBED.
- ALL SOIL EROSION CONTROL MEASURES REQUIRED BY THE GRADING PLAN SHALL BE PERFORMED PRIOR TO GRADING, CLEARING OR GRUBBING. ALL EROSION CONTROL DEVICES SUCH AS SILT FENCES, ETC., SHALL BE MAINTAINED IN WORKABLE CONDITION FOR THE LIFE OF THE PROJECT BY THE CONTRACTOR AT HIS EXPENSE. EROSION CONTROL FACILITIES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT ONLY ON THE ENGINEER'S APPROVAL. PAYMENT SHALL BE CONSIDERED INCIDENTAL TO CLEARING AND GRUBBING UNLESS OTHERWISE SPECIFIED. IF DURING THE LIFE OF THE PROJECT, A STORM CAUSES SOIL EROSION WHICH CHANGES FINISH GRADES OR CREATES "GULLIES" AND "WASHED AREAS" THESE SHALL BE REPAIRED AT NO ADDITIONAL COST, AND ALL SILT WASHED OFF OF THE PROJECT SITE ONTO ADJACENT PROPERTY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST. THE CONTRACTOR SHALL ADHERE TO ANY APPROVED EROSION CONTROL PLANS WHETHER INDICATED IN THE CONSTRUCTION PLANS OR UNDER SEPARATE COVER.

EROSION CONTROL IS FIELD PERFORMANCE BASED AND ADDITIONAL SILT FENCE, TEMPORARY SEDIMENT BASINS AND OTHER MEASURES MAY NEED TO BE INSTALLED IN ADDITION TO THE APPROVED PLAN AS NECESSARY. MEASURES INDICATED ON THE DRAWINGS CAN AND SHOULD BE ADJUSTED TO ASSURE MAXIMUM PROTECTION OF THE SITE.

- CLEARING AND GRUBBING WASTES SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE, UNLESS SPECIFIED OTHERWISE.
  - SOLID WASTES TO BE REMOVED, SUCH AS SIDEWALKS, CURBS, PAVEMENT, ETC., MAY BE PLACED IN SPECIFIC DISPOSAL AREAS DELINEATED ON THE PLANS WITH THE PRIOR APPROVAL OF THE ENGINEER OR SHALL BE REMOVED FROM THE SITE AS REQUIRED BY THE SPECIFICATIONS. THIS MATERIAL SHALL HAVE A MINIMUM COVER OF 2'. THE CONTRACTOR SHALL MAINTAIN SPECIFIED COMPACTION REQUIREMENTS IN THESE AREAS. WHEN DISPOSAL SITES ARE NOT PROVIDED, THE CONTRACTOR SHALL REMOVE THIS WASTE FROM THE SITE AND PROPERLY DISPOSE OF IT AT HIS EXPENSE.
  - ABANDONED UTILITIES SUCH AS CULVERTS, WATER PIPE, HYDRANTS, CASTINGS, PIPE APPURTENANCES, UTILITY POLES, ETC., SHALL BE THE PROPERTY OF THE SPECIFIC UTILITY AGENCY, OR COMPANY HAVING JURISDICTION, BEFORE THE CONTRACTOR CAN REMOVE. DESTROY, SALVAGE, REUSE, SELL OR STORE FOR HIS OWN USE ANY ABANDONED UTILITY, HE MUST PRESENT TO THE OWNER WRITTEN PERMISSION FROM THE UTILITY INVOLVED.
  - ON SITE BURNING IS AN ACCEPTABLE METHOD OF DISPOSING OF FLAMMABLE WASTES WHERE ALLOWED BY LOCAL CODES. WHEN BURNING IS ANTICIPATED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND MEETING GOVERNING CODES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR HIS REPRESENTATIVE AS TO THE SPECIFIC LOCATION OF BURNING AND SHALL PROVIDE COPIES OF SECURED PERMITS. AFTER BURNING IS COMPLETED, PURE ASH MAY BE DISPOSED OF BY MIXING WITH FILL DIRT UPON THE APPROVAL OF THE ENGINEER. ALL MATERIAL NOT TOTALLY BURNED SHALL BE DISPOSED OF AS SPECIFIED IN "B" ABOVE. THE CONTRACTOR SHALL NOT HOLD UP WORK PROGRESS FOR THE PURPOSE OF WAITING FOR A "BURNING DAY".
- IN THE EVENT EXCESSIVE GROUNDWATER OR SPRINGS ARE ENCOUNTERED WITHIN THE LIMITS OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL NECESSARY DRAINS AND STONE, AS DIRECTED BY THE ENGINEER AND AS APPROVED BY PERMITTING FROM THE REGULATORY AGENCIES. ALL WORK SHALL BE PAID BASED UPON UNIT BIDS, UNLESS SPECIFIED OTHERWISE.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ADJUSTMENT OF ALL UTILITY SURFACE ACCESSES WHETHER HE PERFORMS THE WORK OR A UTILITY COMPANY PERFORMS THE WORK.

**NOTE-1**

**HENDERSON COUNTY EROSION CONTROL NOTES**

GENERAL: ALL EROSION CONTROL MEASURES ARE TO BE PERFORMED IN STRICT ACCORDANCE WITH REQUIREMENTS OF HENDERSON COUNTY. THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE COMPLIED WITH FOR ALL WORK.

- OBTAIN EROSION CONTROL PERMIT THROUGH HENDERSON COUNTY.
- INSTALL ALL EROSION CONTROL MEASURES AS REQUIRED.
- PROCEED WITH GRADING, CLEARING AND GRUBBING.
- SEED AND MULCH DENUDED AREAS WITHIN 14 DAYS AFTER FINISHED GRADES ARE ESTABLISHED, AND/OR WITHIN 7 DAYS ON ALL PERIMETER AREAS AND SLOPES GREATER THAN 3:1. SEED AND SOIL AMENDMENTS SHALL BE PLACED ON A PREPARED SEEDBED AT THE FOLLOWING RATES PER ACRE:
 

**SUMMER (PERMANENT) SEEDING (MAY 15 TO AUGUST 15)**

LIME	2,000 LBS
FERTILIZER (10-10-10)	750 LBS
KY-31 FESCUE	100 LBS
STRAW MULCH	4,000 LBS. (ANCHORED)
GERMAN MILLET	40 LBS.
(OR SMALL-STEMMED SUDAN GRASS @ 40 LBS.)	

**WINTER (TEMPORARY) SEEDING (AUGUST 15 TO MAY 15) MOUNTAINS**

LIME	2,000 LBS
FERTILIZER (10-10-10)	750 LBS
KY-31 FESCUE	100 LBS
STRAW MULCH	4,000 LBS. (ANCHORED)
RYE (GRAIN)	120 LBS.

**FOR ALL SLOPES 2:1 OR STEEPER ADD TO THE ABOVE:**

SERICEA LESPEDEZA (KOREAN)	50 LBS.
----------------------------	---------

IF HYDROSEEDING, WOOD CELLULOSE MAY BE USED IN ADDITION TO STRAW MULCH AT THE RATE OF 1,000 LBS PER ACRE.

ALL SEEDING SHALL BE MAINTAINED, WATERED, ETC., UNTIL A PERMANENT VEGETATIVE GROUND COVER IS ESTABLISHED OVER ALL DISTURBED AREAS.

ALL SLOPES 2:1 OR STEEPER SHALL BE COVERED BY EROSION CONTROL MATTING.
- MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THESE AREAS.
- REQUEST FINAL APPROVAL BY HENDERSON COUNTY.

**GENERAL INFORMATION**

- EROSION CONTROL IS FIELD PERFORMANCE BASED AND ADDITIONAL SILT FENCES, TEMPORARY SEDIMENT BASINS AND ALL OTHER MEASURES MAY NEED TO BE ADDED IN ADDITION TO THE APPROVED PLAN AS NECESSARY. MEASURES INDICATED ON THE DRAWINGS CAN AND SHOULD BE ADJUSTED TO ASSURE MAXIMUM PROTECTION OF THE SITE.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RETAIN EROSION.
- STABILIZATION OF ALL LAND DISTURBANCE SHALL OCCUR AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14, OR 7, CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- AREAS DEDICATED FOR MANAGEMENT OF LAND CLEARING AND DEMOLITION DEBRIS, EARTHEN STOCK PILE MATERIAL, CONSTRUCTION AND DOMESTIC WASTE, AND HAZARDOUS OR TOXIC WASTE MUST BE LOCATED AT LEAST 50 FEET AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WEEKLY SELF-INSPECTION PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE NPDES SELF-INSPECTION REPORT FORM FROM THE NCDENR, DIVISION OF LAND RESOURCES SHALL BE USED AND ALL REPORTING REQUIREMENTS SHALL BE FOLLOWED. INSPECTION ITEMS INCLUDE, BUT IS NOT LIMITED TO, SEDIMENT CONTROL BASINS, TRAPS, AND PONDS; ROCK DAMS, TEMPORARY DIVERSIONS, TEMPORARY SLOPE DRAINS, ROCK CHECK DAMS, SILT FENCE, INLET PROTECTION, STORM DRAIN FACILITIES, ENERGY DISSIPATORS, AND STABILIZATION METHODS OF OPEN CHANNELS, AND THE NEED FOR GROUND COVER.
  - SELF-INSPECTION PROGRAM - EROSION CONTROL INSPECTORS
    - <http://www.hendersoncountync.org/engineering/Complete%20package%20for%20self%20inspection.pdf>
  - NPDES STORMWATER GENERAL PERMIT - WATER QUALITY INSPECTORS
    - <http://www.hendersoncountync.org/engineering/erosion/Complete%20permit%2008032011.pdf>
- THE CONTRACTOR SHALL MAKE INSPECTIONS OF THE SITE DURING AND AFTER THE INSTALLATION OF EROSION CONTROL FACILITIES; THE COMPLETION OF EACH PHASE OF CLEARING AND GRUBBING AND INSTALLATION OF STORM DRAINAGE FACILITIES; THE COMPLETION OF CONSTRUCTION; IMMEDIATELY AFTER EACH RAINFALL EVENT; AND CONTINUALLY UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

**NOTE-14**

**GENERAL CONSTRUCTION NOTES CONT'D.**

- THE CONTRACTOR SHALL CONTROL ALL "DUST" BY PERIODIC WATERING AND SHALL PROVIDE ACCESS AT ALL TIMES FOR PROPERTY OWNERS WITHIN THE PROJECT AREA AND FOR EMERGENCY VEHICLES. ALL OPEN DITCHES AND HAZARDOUS AREAS SHALL BE CLEARLY MARKED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL AREAS WHERE THERE IS EXPOSED DIRT SHALL BE SEEDED, FERTILIZED AND MULCHED ACCORDING TO THE SPECIFICATIONS. THE FINISHED SURFACE SHALL BE TO GRADE AND SMOOTH, FREE OF ALL ROCKS LARGER THAN 3" EQUIPMENT TRACKS, DIRT CLOUDS, BUMPS, RIDGES AND GULLIES PRIOR TO SEEDING. THE SURFACE SHALL BE LOOSENOED TO A DEPTH OF 4"-6" TO ACCEPT SEED. THE CONTRACTOR SHALL NOT PROCEED WITH SEEDING OPERATIONS WITHOUT FIRST OBTAINING THE ENGINEER'S APPROVAL OF THE GRADED SURFACE. ALL SEEDING SHALL BE PERFORMED BY A MECHANICAL "HYDRO-SEEDER". HAND SEEDING SHALL BE AUTHORIZED ON AN AREA BY AREA APPROVAL BY THE ENGINEER. ALL FILL AND CUT SLOPES 2:1 HORIZONTAL TO VERTICAL, OR STEEPER, SHALL BE COVERED, AFTER SEEDING, WITH EROSION CONTROL MATTING CONSISTING OF BIODEGRADABLE STRAW WITH NATURAL FIBER OR BIODEGRADABLE NETTING, APPROVED BY THE ENGINEER.
- WHERE SPECIFIED, STORM DRAIN PIPE SHALL BE CORRUGATED METAL PIPE (CMP) CONFORMING TO AASHTO M-36, WITH PERROLLED ENDS TO ACCOMMODATE CORRUGATED COUPLING BANDS. 18" PIPE SHALL BE 18 GAUGE, 24" AND 30" PIPE SHALL BE 14 GAUGE AND 36" PIPE AND OVER SHALL BE 12 GAUGE AS SPECIFIED ON THE PLANS. PIPE AND COUPLING BANDS SHALL CONFORM TO NCDOT 1032-3 FOR PLAIN PIPE OR 1032-4(A) FOR BITUMINOUS COATED AND PARTIALLY PAVED PIPE. DIMPLE BANDS SHALL NOT BE USED.
- WHERE SPECIFIED, STORM DRAIN PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO AASHTO M-170, AS CONTAINED IN NCDOT STANDARD SPECIFICATION 1032-9 FOR WALL "B" TYPE.
- WHERE SPECIFIED, ALL STORM DRAIN PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE), CORRUGATED EXTERIOR, SMOOTH WALL INTERIOR, WITH SOIL TIGHT JOINTS, BACKFILLED WITH # 57 WASHED STONE UP TO MIN. 6" OVER THE TOP OF THE PIPE, 12" ON EACH SIDE OF THE PIPE, AND 8" BENEATH THE PIPE. HDPE PIPE USED FOR STORM DRAINAGE DETENTION SYSTEMS SHALL BE "HANCOR BLUE SEAL" OR APPROVED EQUAL, WITH WATER TIGHT JOINTS.
- WHERE SPECIFIED, ALL STORM DRAIN PIPE SHALL BE DUAL WALL HIGH DENSITY POLYPROPYLENE (HDPP), CORRUGATED EXTERIOR, SMOOTH WALL INTERIOR, WITH GASKETED JOINTS, BACKFILLED WITH #57 WASHED STONE UP TO THE SPRING LINE OF THE PIPE, WITH 12" STONE ON EACH SIDE OF THE PIPE, AND 8" BENEATH THE PIPE. PIPES OF A DIAMETER OF 30" OR GREATER SHALL BE TRIPLE WALL, CORRUGATED STRUCTURAL CORE, SMOOTH EXTERIOR, WITH DOUBLE GASKETED JOINTS.
- ALL CORRUGATED METAL STORM DRAIN PIPE (CMP) SHALL BE ALUMINIZED TYPE 2 CORRUGATED STEEL MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF AASHTO M-36. THE PIPE SHALL BE MANUFACTURED FROM ALUMINIZED STEEL TYPE 2 MATERIAL CONFORMING TO THE REQUIREMENTS OF AASHTO M-274. ALL PIPE SHALL BE FURNISHED WITH PERROLLED ENDS AND SHALL BE JOINED WITH HUGGER BANDS. THE USE OF DIMPLE BANDS WILL NOT BE ALLOWED. PIPE THROUGH 24" DIAMETER SHALL BE 16 GAUGE, PIPE THROUGH 42" DIAMETER SHALL BE 14 GAUGE, PIPE THROUGH 54" DIAMETER SHALL BE 12 GAUGE.
- CONTRACTOR SHALL VERIFY THE APPROPRIATENESS OF ALL ELEVATIONS BEFORE INSTALLATION OF FACILITIES AND THAT THOSE ELEVATIONS CONTRIBUTE TO THE PROPER INTENDED PERFORMANCE OF THE INSTALLED FACILITIES.
- CATCH BASINS CAST-IN-PLACE SHALL CONFORM TO THE REQUIREMENTS OF NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (LATEST EDITION) ARTICLES 840-1 THROUGH 840-3. CURB INLET CATCH BASIN SHALL CONFORM TO NCDOT STANDARD DETAILS 840.02 THROUGH 840.04. DROP INLETS SHALL CONFORM TO STANDARD DETAIL 840.14. JUNCTION BOXES SHALL CONFORM TO STANDARD DETAIL 840.31.
- CURB INLET FRAME, GRATE AND HOOD SHALL BE NENEAH R-32330, PRODUCTS BY DEWEY BROS., U.S. FOUNDRY OR EQUAL. DROP INLET FRAME AND GRATE SHALL BE NENEAH R-3339A OR EQUAL. FIELD INLET COVER SHALL CONFORM TO NCDOT STANDARD DETAIL 840.04, OPENING FACING UPSTREAM.
- CONCRETE AND MASONRY SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE SECTION OF THE NCDOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURES (LATEST EDITION). CONCRETE SHALL BE CLASS A OR B, 4000 PSI MINIMUM, MEETING THE REQUIREMENTS OF SECTION 1008.
- TOPS OF PROPOSED FRAMES AND GRATES SHALL BE FLUSH WITH FINISHED GRADE. ALL STORM DRAIN BOXES AND MANHOLES OVER 4' IN DEPTH SHALL HAVE STEPS DIRECTLY BENEATH THE OPENING.
- TINDALL PRE CAST CONCRETE BOXES ARE ACCEPTABLE ALTERNATIVES FOR PROPOSED CATCH BASINS WHERE APPROVED BY THE ENGINEER.

**NOTE-2**

**SEEDING NOTES**

**PERMANENT SEEDING**

**LAWN SEEDING MIXTURE**

SPECIES	RATE (LB/ACRE)
KENTUCKY BLUEGRASS (20%)	260 LBS.
REBEL FESCUE (80%)	

**SEEDING DATES**

MOUNTAINS	MARCH 15 - MAY 15	AUGUST 15 - OCTOBER 15
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**SOIL AMENDMENTS**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

RE-FERTILIZE IF GROWTH IN NOT FULLY ADEQUATE.  
RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**TEMPORARY SEEDING FOR SUMMER**

**SEEDING MIXTURE**

SPECIES	RATE (LB/ACRE)
GERMAN MILLET	40 LBS.

**SEEDING DATES**

MOUNTAINS	MAY 15 - AUGUST 15
PIEDMONT	MAY 1 - AUGUST 15
COASTAL PLAIN	APRIL 15 - AUGUST 15

**SOIL AMENDMENTS**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

RE-FERTILIZE IF GROWTH IN NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**GENERAL CONSTRUCTION NOTES CONT'D.**

- CONTRACTOR SHALL PROVIDE THE OWNER AND THE LOCAL REGULATORY AGENCY WITH PROOF OF ACTIVE GRADING PERMITS FOR ANY BORROW OR WASTE SITES TO BE USED, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME MAINTENANCE OF ALL EROSION CONTROL FACILITIES LEFT ON SITE BY PREVIOUS CONTRACTORS IN THE CASE OF PHASED PROJECTS WHEN SPECIFIED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL MAINTAIN, ADD TO AND/OR ADJUST ALL FACILITIES TO ASSURE MAXIMUM PROTECTION OF THE SITE.
- SEED AND MULCH DENUDED AREA WITHIN 14 DAYS ON DISTURBED FLAT AREAS AND 7 DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. GROUND COVER SHALL BE REQUIRED AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 (OR 7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO CONSTRUCTION.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE THE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE CONTRACTOR SHALL VERIFY ALL LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NC "ONE CALL" AT (800) 632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- ALL RECOMMENDATIONS/REQUIREMENTS OUTLINED IN THE SOILS REPORT AND ADDENDUMS TO THE SOILS REPORT CONTAINED IN THE CONTRACT DOCUMENTS SHALL BE INCORPORATED INTO THE EARTHWORK AND RELATED SPECIFICATIONS FOR THIS PROJECT.

**NOTE-2A**

**SEEDING NOTES**

**TEMPORARY SEEDING FOR FALL**

**SEEDING MIXTURE**

SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	260 LBS.

**SEEDING DATES**

MOUNTAINS	AUGUST 15 - DECEMBER 15
PIEDMONT	AUGUST 15 - DECEMBER 15
COASTAL PLAIN	AUGUST 15 - DECEMBER 30

**SOIL AMENDMENTS**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

REPAIR AND RE-FERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

**TEMPORARY SEEDING FOR WINTER & EARLY SPRING**

**SEEDING MIXTURE**

SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120 LBS.
ANNUAL LESPEDEZA (KOBE	50 LBS.
IN PIEDMONT & COASTAL PLAIN, KOREAN IN MOUNTAINS)	

**SEEDING DATES**

MOUNTAINS (ABOVE 2,500')	FEBRUARY 15 - MAY 15
MOUNTAINS (BELOW 2,500')	FEBRUARY 1 - MAY 1
PIEDMONT	JANUARY 1 - MAY 1
COASTAL PLAIN	DECEMBER 1 - APRIL 15

**SOIL AMENDMENTS**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

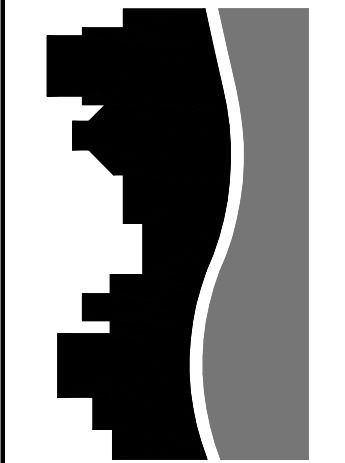
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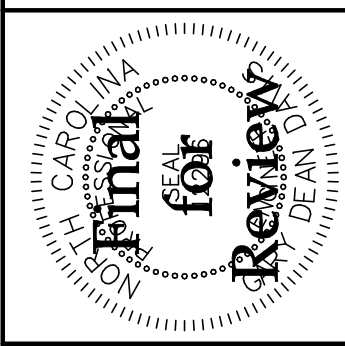
**MAINTENANCE**

RE-FERTILIZE IF GROWTH IN NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

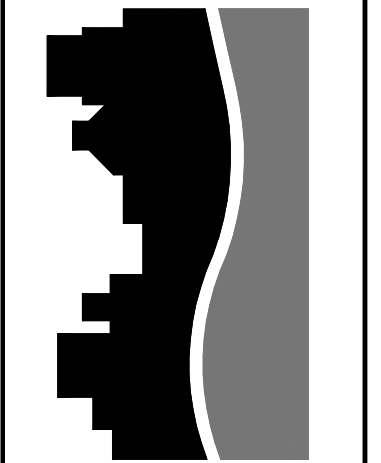
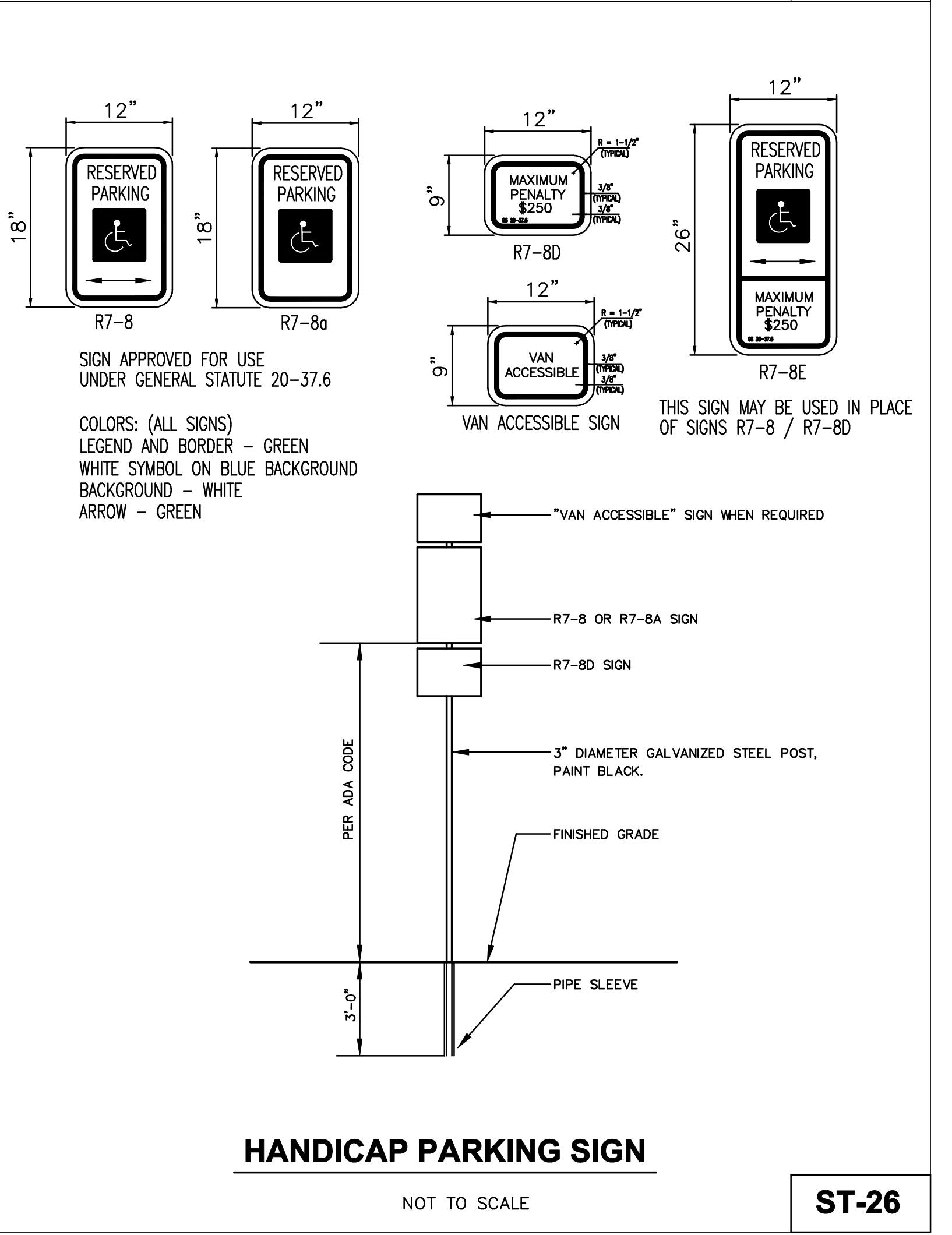
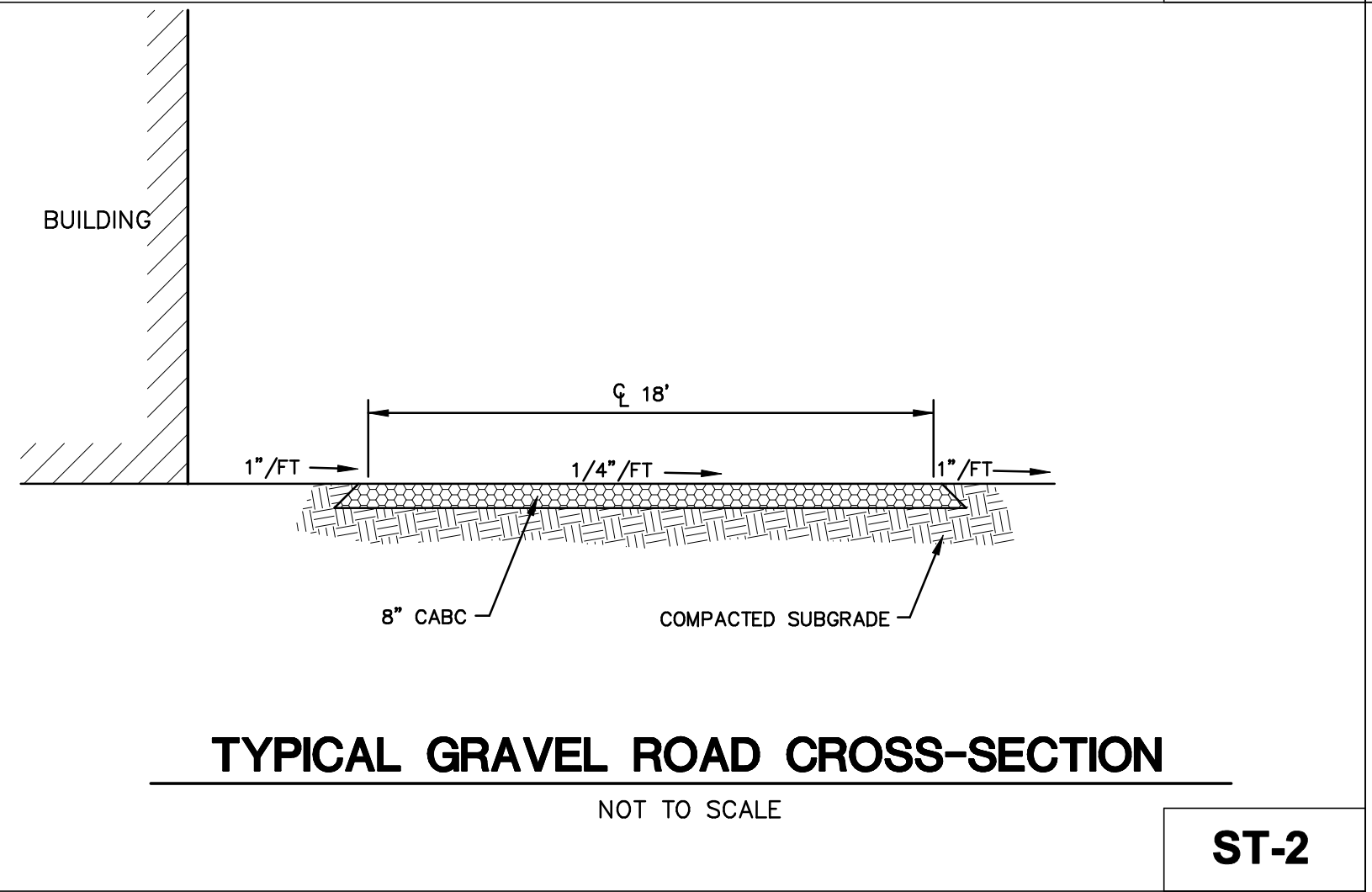
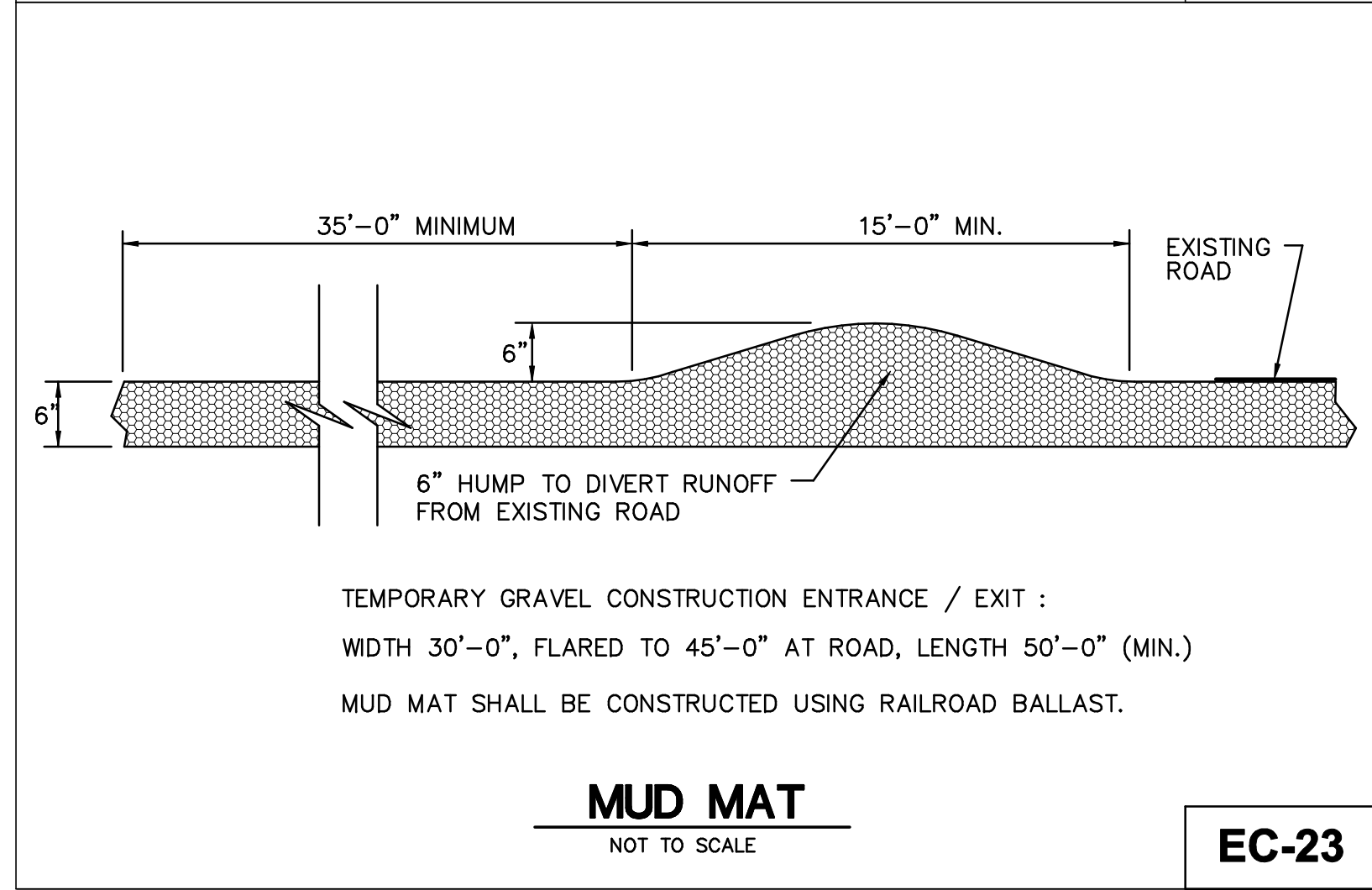
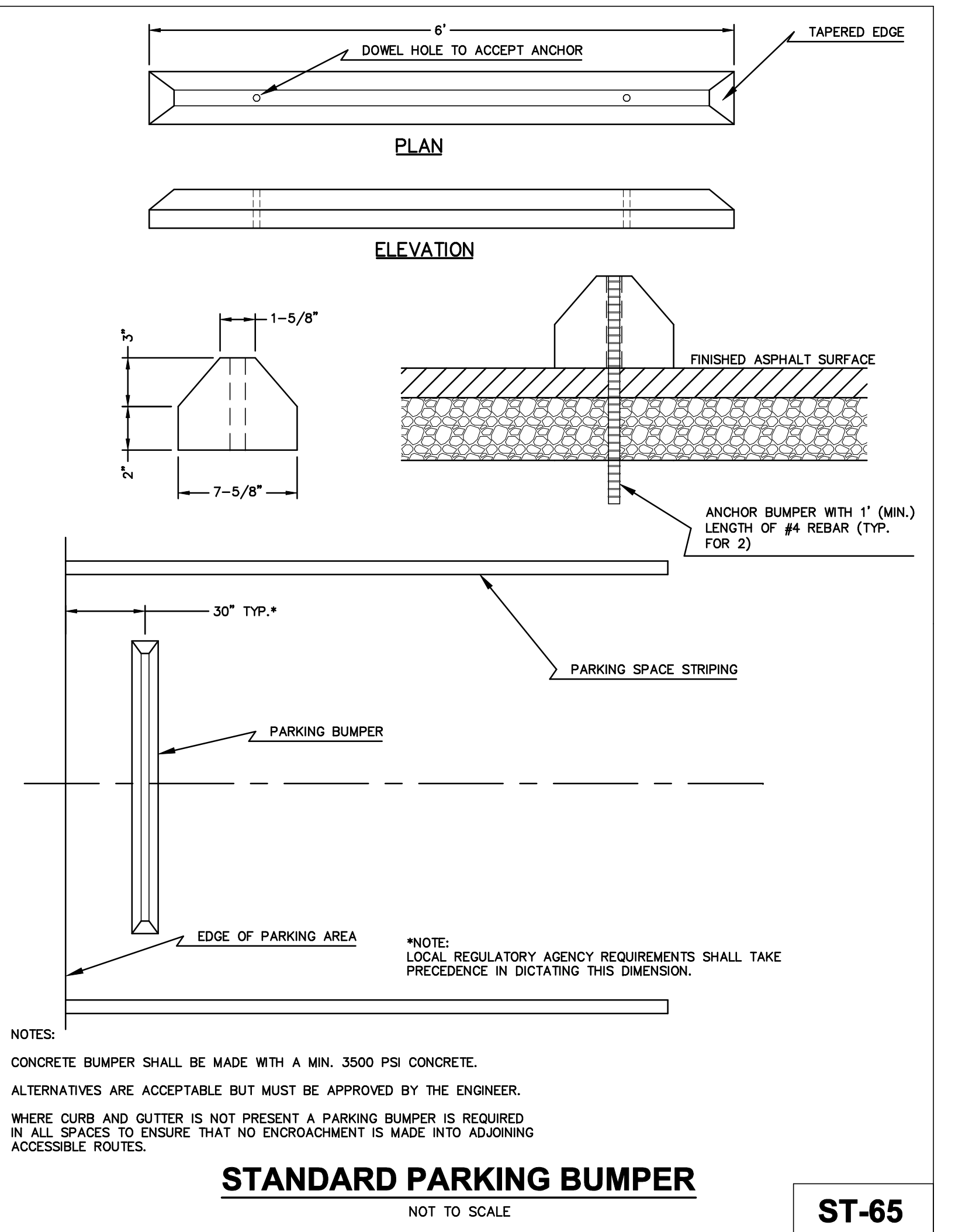
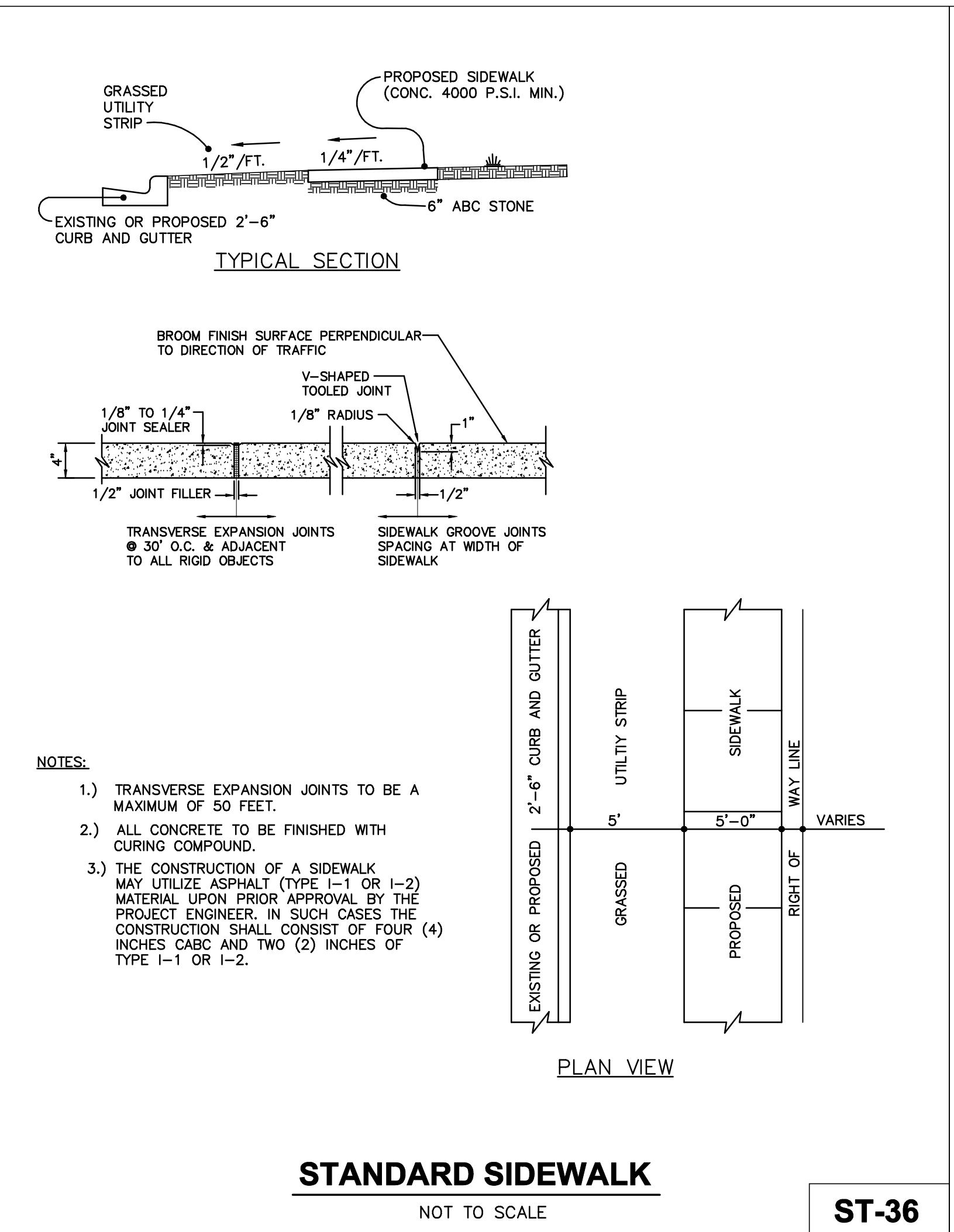
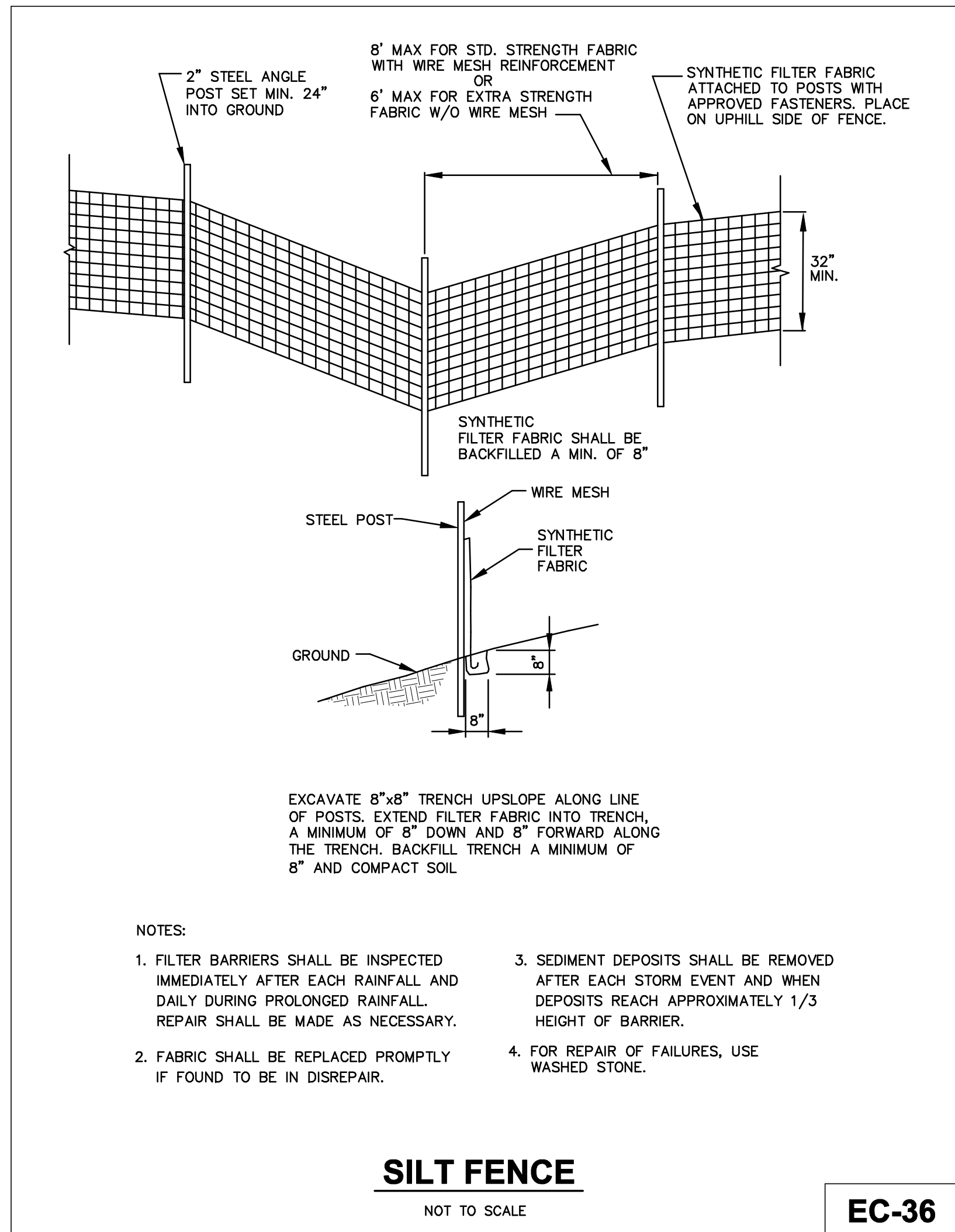
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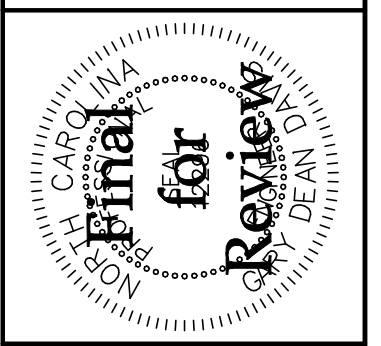


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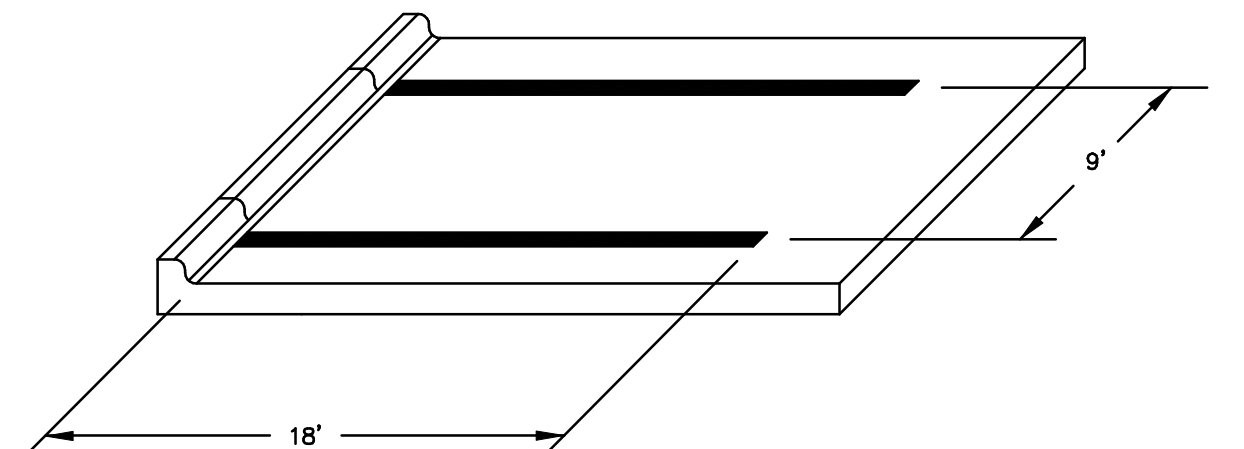


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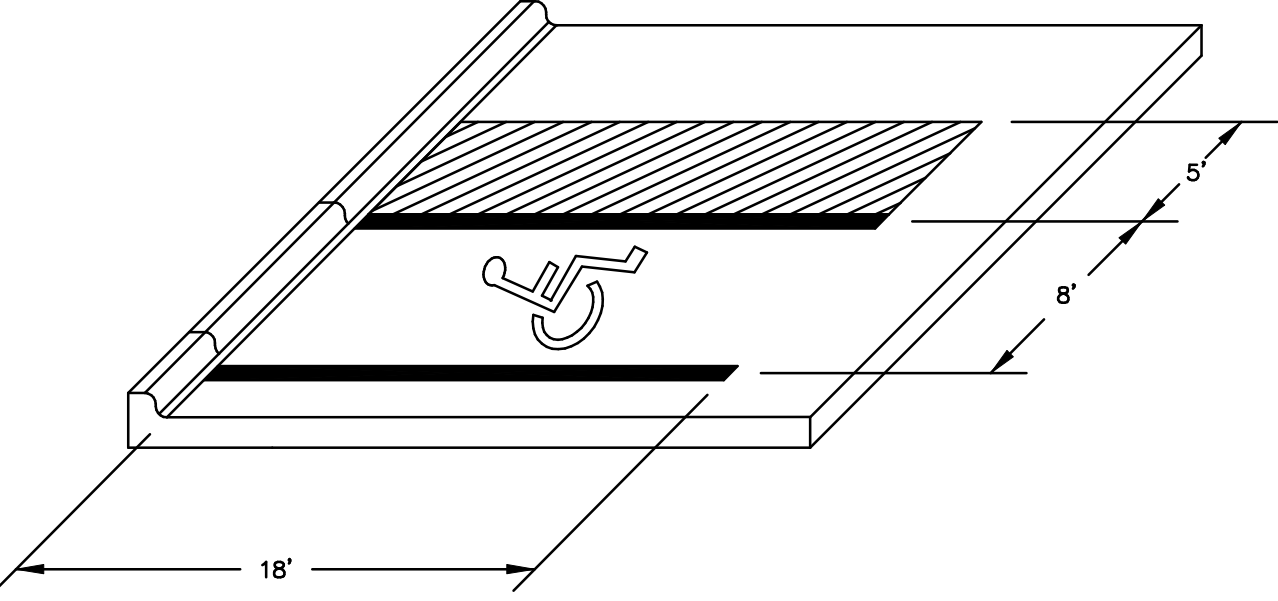
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TYPICAL PARKING SPACE



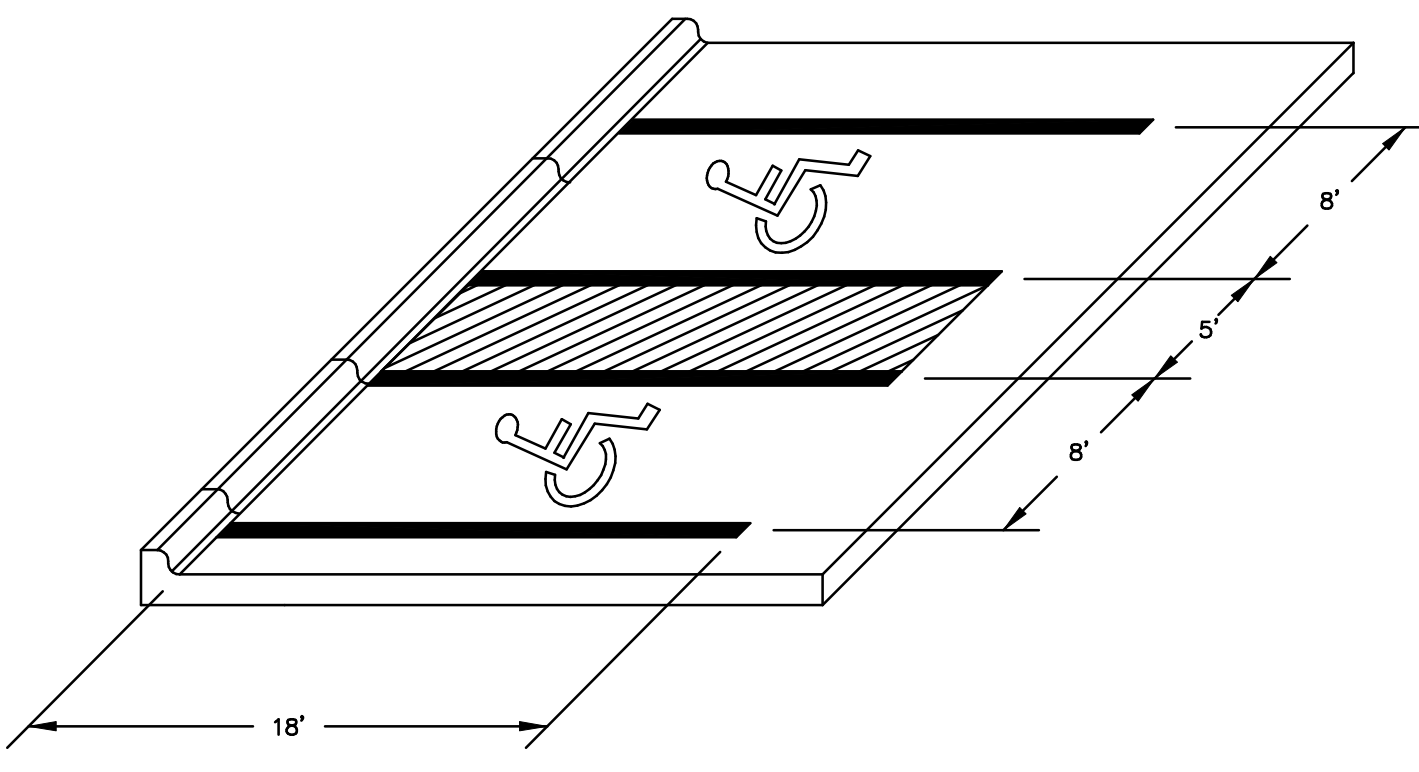
TYPICAL STANDARD HANDICAPPED PARKING SPACE

- NOTES:
- HANDICAPPED PARKING SPACES SHALL MEET THE STANDARDS OF THE AMERICANS WITH DISABILITIES ACT, AS AMENDED.
  - IF PARKING SPACES ARE PROVIDED FOR SELF-PARKING BY EMPLOYEES OR VISITORS, OR BOTH, THEN HANDICAPPED ACCESSIBLE SPACES SHALL BE PROVIDED AS INDICATED IN THE CHART BELOW. SPACES REQUIRED BY THE TABLE NEED NOT BE PROVIDED IN A DIFFERENT LOCATION IF EQUIVALENT OR GREATER ACCESSIBILITY, IN TERMS OF DISTANCE FROM AN ACCESSIBLE ENTRANCE, AND CONVENIENCE ARE ENSURED.
  - ACCESS AISLES ADJACENT TO HANDICAPPED SPACES, EXCEPT ACCESS AISLES, SHALL HAVE A MINIMUM WIDTH OF 5 FEET. ONE IN EVERY 8 HANDICAPPED SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE NOT LESS THAN 8 FEET WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE." ACCESS AISLES MAY BE SHARED BY ADJACENT HANDICAPPED PARKING SPACES.

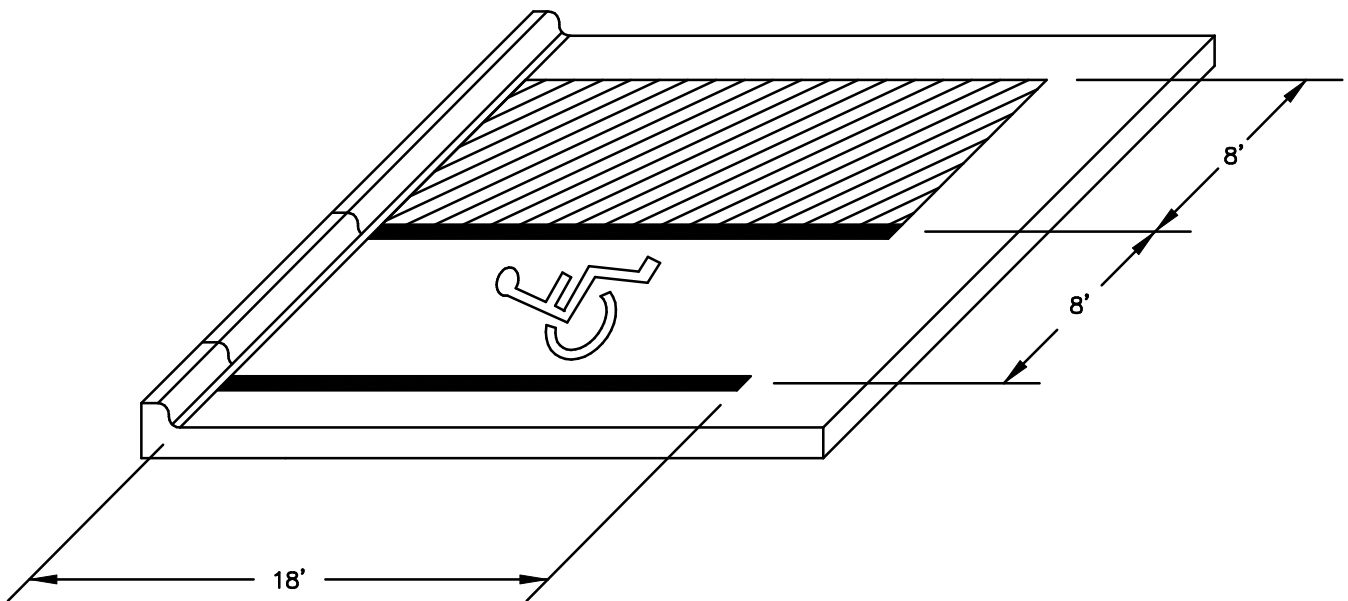
TOTAL SPACES IN LOT	REQUIRED MINIMUM NUMBER OF HANDICAPPED SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
200 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000

**PARKING SPACE DIMENSIONS - 1A**  
NOT TO SCALE

ST-40



TWO STANDARD HANDICAPPED PARKING SPACES



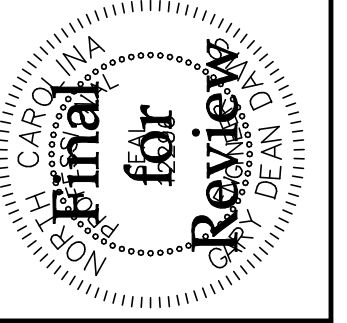
VAN-ACCESSIBLE HANDICAPPED PARKING SPACE

**PARKING SPACE DIMENSIONS - 1B**  
NOT TO SCALE

ST-41

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