

**REQUEST FOR COMMITTEE ACTION**

**HENDERSON COUNTY**

**TECHNICAL REVIEW COMMITTEE**

**MEETING: September 20, 2016**

**SUBJECT: Major Site Plan**

**PRESENTER: Toby Linville**

**ATTACHMENTS: Staff Report**

**SUMMARY OF REQUEST: Major site plan review Henderson County Innovative High School**

**SUGGESTED MOTIONS:**

**I move to approve the major site plan the Innovative High School.**



## Henderson County, North Carolina Code Enforcement Services

### 1. Committee Request

- 1.1. **Henderson County Innovative High School**
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9578931758
- 1.4. **Size:** 3.3 acres +/-
- 1.5. **Location:** E Campus Dr
- 1.6. **Supplemental Requirements:**

#### **SR 5.20. School (Public/Private/Charter)**

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Lighting mitigation* required.
- (3) Operations. A *school* shall be permitted *accessory uses* provided the requested *accessory use* is permitted as a *principal/accessory use* in the district in which the *school* is located. Additional signage shall not be permitted for the *accessory use*.
- (4) Public Address/Loud Speakers. Public address and loud speaker systems shall not be operated before 7:00 a.m. or after 12:00 midnight when on/adjacent to a *residential zoning district*

**Map A: Pictometry/Aerial Photography**



2. **Current Conditions**

**Current Use:** This parcel is currently institutional.

**Adjacent Area Uses/Zoning:** The surrounding properties are institutional and residential.

**Map B: Current Zoning**



3. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

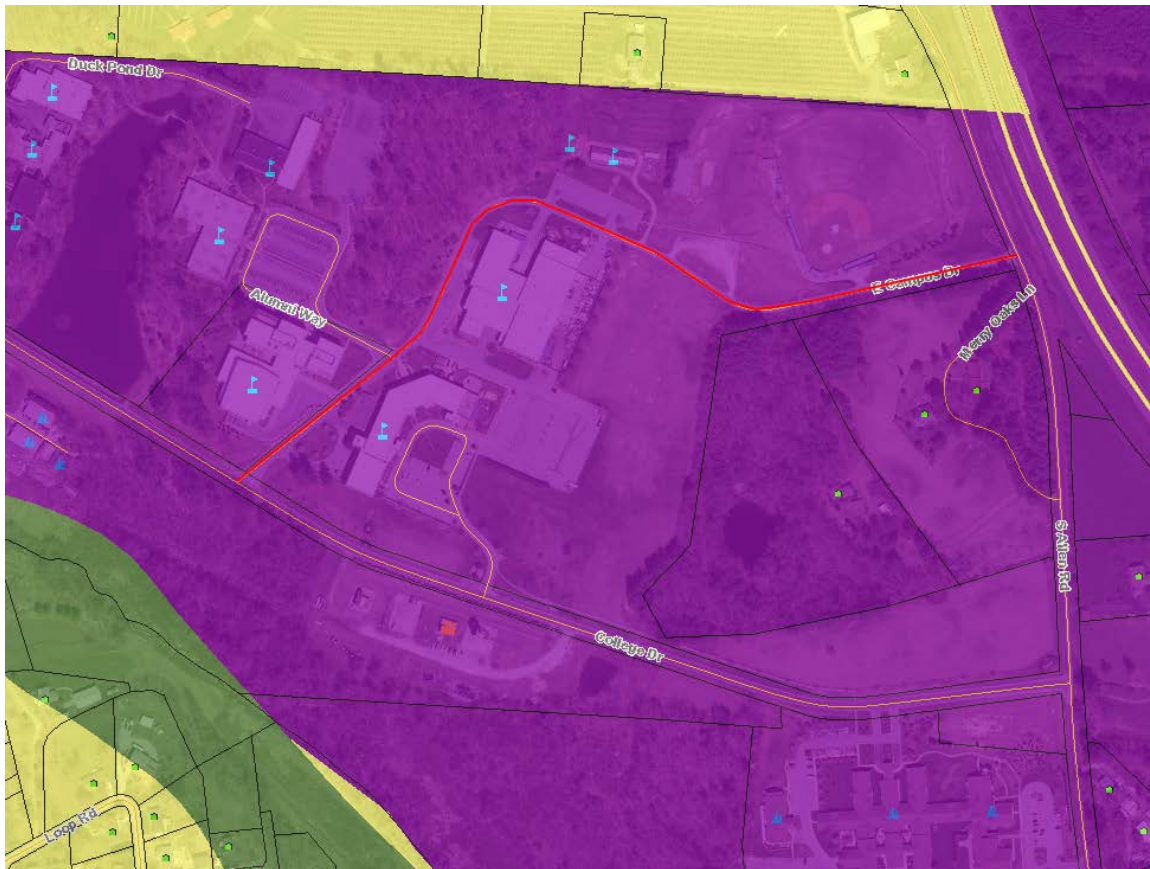
4. **Water and Sewer** This property is served by public water and sewer.

**Public Water:** City of Hendersonville

**Public Sewer:** City of Hendersonville



### Map C: CCP Future Land Use Map



#### 5. Comprehensive Plan

**The 2020 CCP:** The CCP Future Land Use Map places the Subject Area in the Industrial Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

Purpose. The purpose of the Industrial District (I) is to foster orderly growth where the *principal use* of land is a mixture of industrial and heavy commercial. The intent of this district is to allow for *industrial* and heavy *commercial development* consistent with the recommendations of the *Comprehensive Plan*. In accordance with the *Comprehensive Plan*, the district will allow for and provide *industrial* and heavy *commercial development* that: (1) is compatible with adjacent development and the surrounding community; (2) will minimize conflict between land *uses*; and (3) is sensitive to its impact on surrounding land *uses* and the environment (natural and man-made)

Most defined industrial areas should lie within the Urban Services Area, and in other areas on a very limited basis. Most industrial uses should be segregated from other uses with the exception of Regional Commercial uses. Industrial areas depicted on Map # 24, *Future Land Use Map* are derived from existing industrial zoning districts, as well as from those area depicted upon Map # 8, “*Committee of 100*” *Recommended Industrial Development Zones*. It is intended that the *Countywide Industrial / Commercial Zoning Study* and *Community Plans* will further refine the location, extent, and intensity of future industrial areas.

#### 6. Staff Recommendations

Staff’s Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.



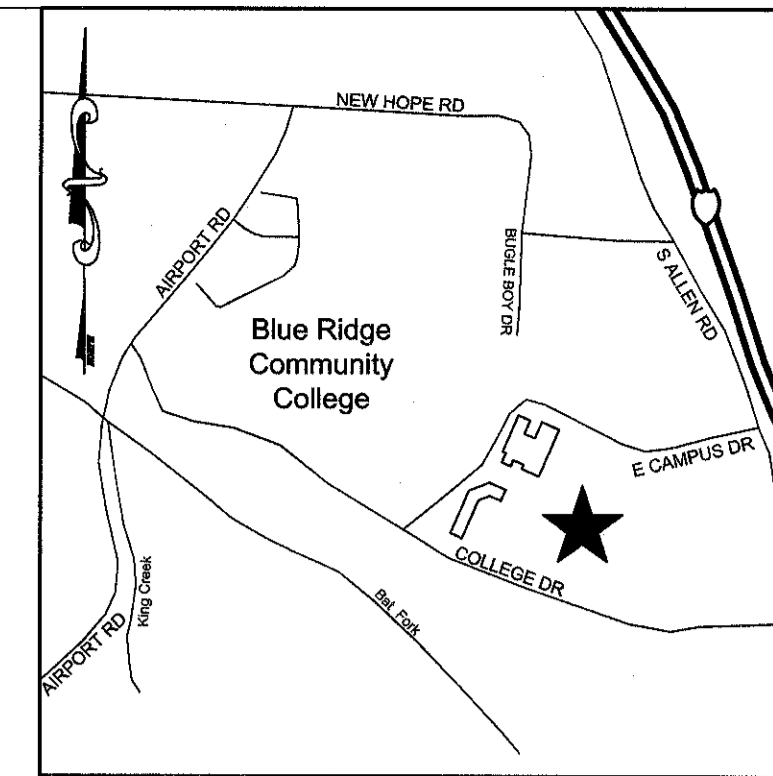
7. Photographs





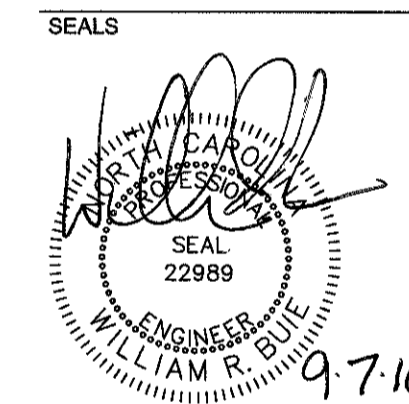






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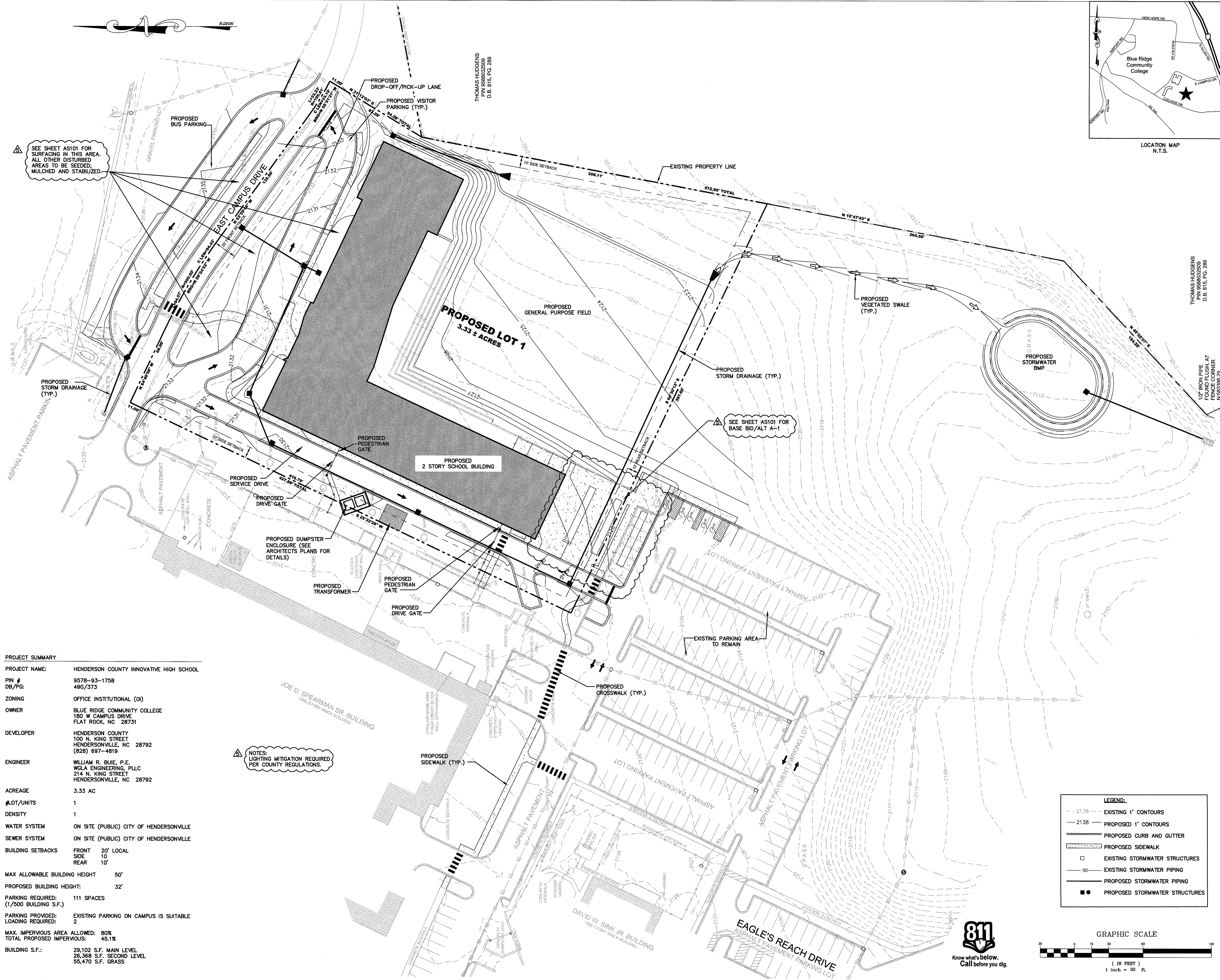
SUBMITTAL  
 8/10/2016  
**CONSTRUCTION DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
801/16		BUILDINGSITE REVISION
907/16		ADDENDUM #1

SHEET  
**SITE PLAN**

**C-200**



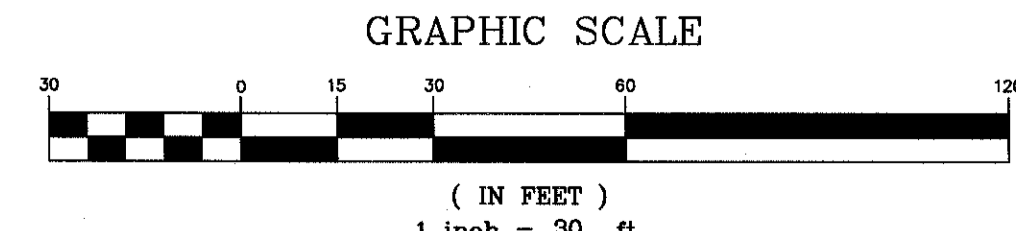
**PROJECT SUMMARY**

PROJECT NAME:	HENDERSON COUNTY INNOVATIVE HIGH SCHOOL
PIN #	9578-93-1758
DB/PG:	490/373
ZONING	OFFICE INSTITUTIONAL (O1)
OWNER	BLUE RIDGE COMMUNITY COLLEGE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
DEVELOPER	HENDERSON COUNTY 100 N. KING STREET HENDERSONVILLE, NC 28792 (828) 697-4819
ENGINEER	WILLIAM R. BUE, P.E. WGLA ENGINEERING, PLLC 214 N. KING STREET HENDERSONVILLE, NC 28792
ACREAGE	3.33 AC
#LOT/UNITS	1
DENSITY	1
WATER SYSTEM	ON SITE (PUBLIC) CITY OF HENDERSONVILLE
SEWER SYSTEM	ON SITE (PUBLIC) CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT 20' LOCAL SIDE 10' REAR 10'
MAX ALLOWABLE BUILDING HEIGHT	50'
PROPOSED BUILDING HEIGHT:	32'
PARKING REQUIRED: (1/500 BUILDING S.F.)	111 SPACES
PARKING PROVIDED:	EXISTING PARKING ON CAMPUS IS SUITABLE
LOADING REQUIRED:	2
MAX. IMPERVIOUS AREA ALLOWED:	80%
TOTAL PROPOSED IMPERVIOUS:	45.1%
BUILDING S.F.:	29,102 S.F. MAIN LEVEL 26,368 S.F. SECOND LEVEL 55,470 S.F. GRASS

NOTES:  
 LIGHTING MITIGATION REQUIRED  
 PER COUNTY REGULATIONS.

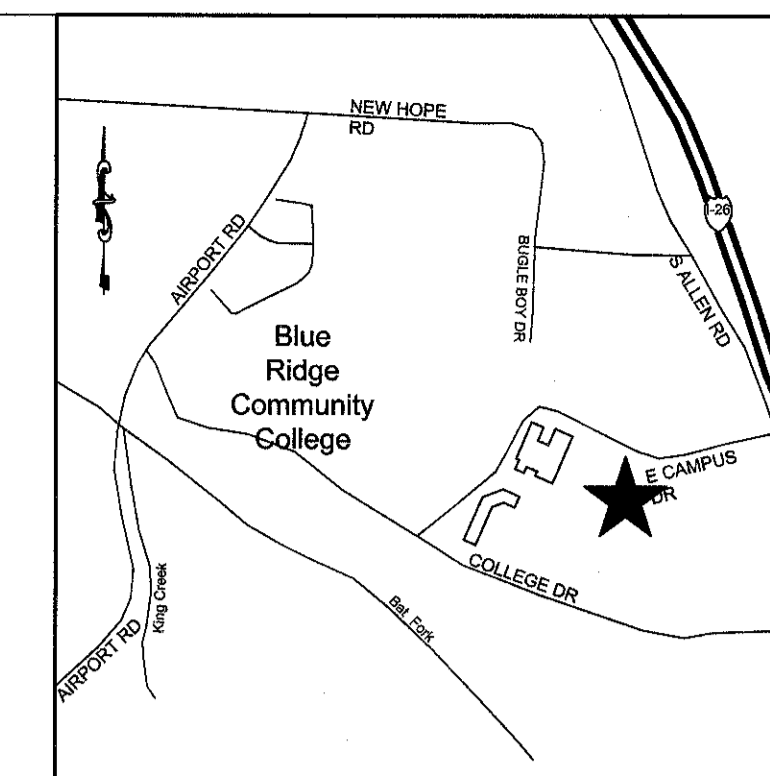
**LEGEND:**

- - - 2138 - - -	EXISTING 1' CONTOURS
— 2138 —	PROPOSED 1' CONTOURS
— — — — —	PROPOSED CURB AND GUTTER
— — — — —	PROPOSED SIDEWALK
□	EXISTING STORMWATER STRUCTURES
— SD —	EXISTING STORMWATER PIPING
— — — — —	PROPOSED STORMWATER PIPING
■ ●	PROPOSED STORMWATER STRUCTURES



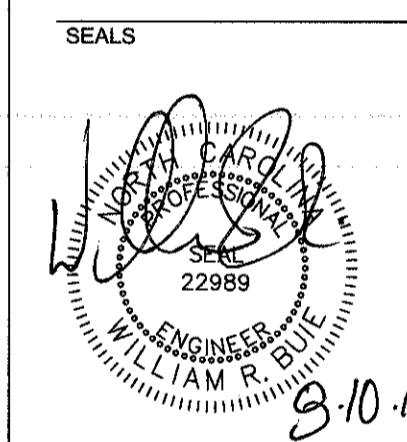
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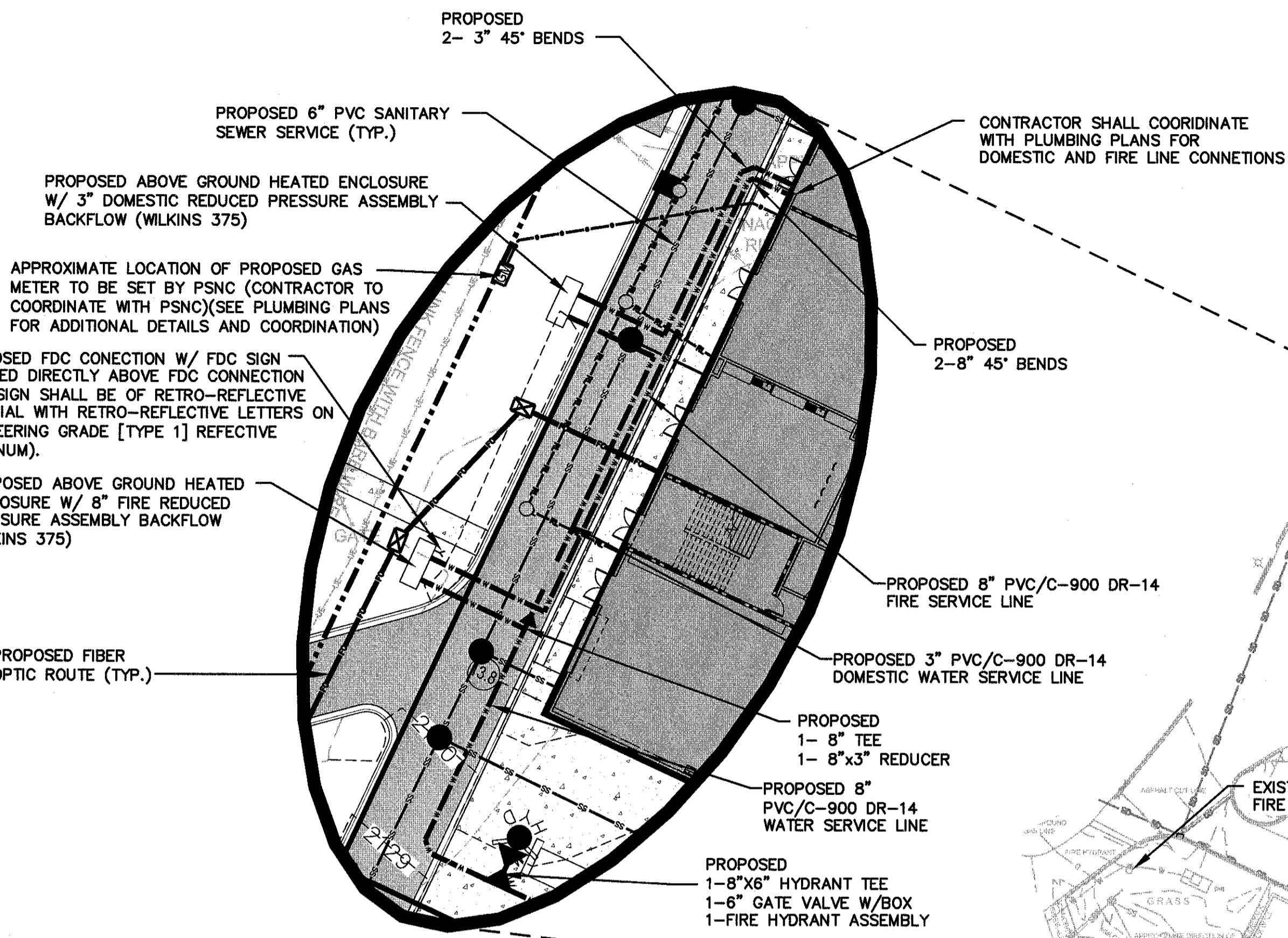
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SUBMITTAL  
 8/10/2016  
**BID DOCUMENTS**

REVISIONS

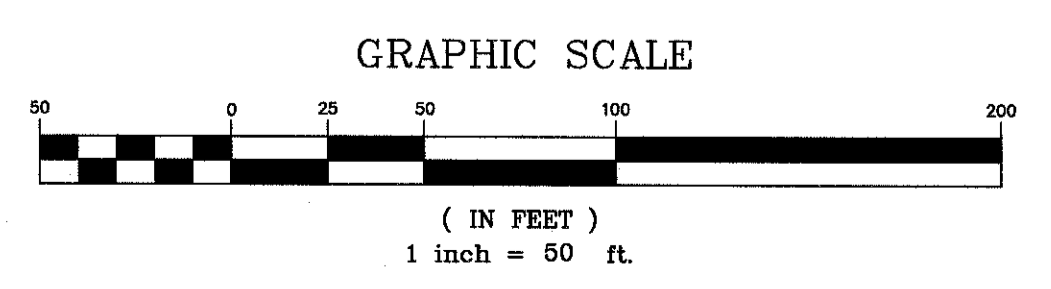
NO.	DATE	REVISIONS
1	8/01/16	BUILDING/SITE REVISIONS



EXISTING CITY OF HENDERSONVILLE SANITARY SEWER MANHOLE (TO BE CORED & BOOTED FOR NEW SEWER SERVICE) TOP ELEV. = 2105.5' INV. IN ELEV. = 2096.8' ONV. OUT ELEV. = 2096.5'

EXISTING GRAVITY SEWER LINE (CITY OF HENDERSONVILLE)

- WATER NOTES:**
- NC-DEQ STANDARDS SUPERSEDE ALL OTHERS.
  - INSTALLATIONS SHALL BE IN ACCORDANCE NC-DEQ CURRENT DESIGN GUIDELINES UNDER THE INSPECTION OF WGLA ENGINEERING, PLLC AND BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
  - ALL WATER METERS SHALL BE PLACED IN FRONT OF THE PROPERTY WHICH THEY WILL SERVE AND THEY MUST BE INSTALLED IN RELATIVELY FLAT AREAS NOT IN STEEP BANKS OR SLOPES.
  - ALL FIRE HYDRANTS MUST BE PLACED IN RELATIVELY FLAT AREAS, NOT IN STEEP BANKS OR SLOPES, AND MUST HAVE 3' OF CLEAR SPACE AROUND THE HYDRANT.
  - ALL BRASS FITTINGS MUST BE CERTIFIED LEAD FREE.
  - ALL METERS SHALL BE PLACED PER CITY OF HENDERSONVILLE DETAIL AS SHOWN ON DETAIL SHEET.
  - A MINIMUM OF 3 FEET HORIZONTAL DISTANCE IS REQUIRED BETWEEN THE WATER LINES AND ANY OTHER UNDERGROUND UTILITY.
  - MAINTAIN 3 FEET OF COVER OVER ALL PUBLIC AND PRIVATE WATER LINES, EXCEPT AS APPROVED BY THE CITY OR WHERE SHOWN ON THE APPROVED CONSTRUCTION PLANS AT UTILITY CROSSINGS.
  - RESTRAINED JOINTS BY A CITY OF HENDERSONVILLE APPROVED PIPE MANUFACTURER ARE TO BE USED FOR ALL PUBLIC WATER LINES; THRUST BLOCKS ARE PERMITTED WHERE CONNECTIONS ARE MADE TO EXISTING WATER MAIN OR WHERE THE USE OF MECHANICAL RESTRAINT IS NOT FEASIBLE.
  - LANDSCAPING MAY EXIST ON SITE THAT IS NOT SHOWN ON PLANS. CONTRACTOR SHALL COORDINATE WITH BLUE RIDGE COMMUNITY COLLEGE ABOUT REMOVAL AND OR RELOCATION OF EXISTING LANDSCAPING AS NEEDED TO INSTALL PROPOSED WATER AND OR SEWER SERVICE.
  - CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY CROSSING ELEVATIONS PRIOR TO INSTALLATION OR WATER AND OR SEWER SERVICES.
  - CONTRACTOR SHALL COORDINATE WATER AND SEWER PLANS WITH THE PLUMBING PLANS.
  - THE PRIVATE WATER SERVICE LINE ALONG THE PROPOSED BUILDING SHALL BE LAID TO AVOID CONFLICTS WITH THE STORM DRAINAGE AND SANITARY SEWER SERVICES.



**LEGEND:**

- - - 2138 - - - EXISTING CONTOURS
- - - 2138 - - - PROPOSED CONTOURS
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED SEWER SERVICE (PVC)
- PROPOSED SEWER SERVICE (DIP)
- PROPOSED SEWER CLEANOUT
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING STORMWATER STRUCTURES
- EXISTING STORMWATER PIPING
- PROPOSED STORMWATER PIPING
- PROPOSED STORMWATER STRUCTURES
- PROPOSED FIBER OPTIC ROUTE
- PROPOSED PULL BOX
- PROPOSED OPEN CUT & PATCH

