

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: September 6, 2016

SUBJECT: Major Site Plan

PRESENTER: Toby Linville

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Major site plan review Foggy Bottom Campground

SUGGESTED MOTIONS:

I move to approve the major site plan for Foggy Bottom Campground.

I recommend approval of the special use permit to the Zoning Board of Adjustment.



Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicants Preston and Lori Allman request a special use permit for a Campground in the Residential Three district**
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9525499441
- 1.4. **Size:** 12.34 acres +/-
- 1.5. **Location:** 23 Coral Cove Ln
- 1.6. **Supplemental Requirements:**

SR 4.3. Campground

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Lighting mitigation* required.
- (3) Size. No *campground* located on/adjacent to a *residential zoning district* shall contain more than 200 campsites. Individual campsites shall be a minimum of 500 square feet.
- (4) Perimeter Setback. Fifty (50) feet.
- (5) Common Area. A *common area* shall be provided, that is equivalent in square footage to 25 percent the total square footage in: campsites, *structures* on site, parking areas and *driveways*. *Common area* shall be accessible for the *use* and enjoyment of *campground* occupants, located as to be free of traffic hazards and maintained in good condition by the *applicant*.
- (6) Operations. The *campground*:
 - a. May contain *structures* ancillary to the use; and
 - b. Shall be permitted one (1) store, exclusively for the sale of incidental gifts and foodstuffs.
- (7) Solid Waste Collection. The facility shall provide a suitable method of solid waste disposal and collection consisting of either private collection from individual *uses* or the *use* of dumpsters (installed and/or operated to meet all local and state statutes, ordinances and regulations (including Chapter 95 of the Henderson County Code, *Solid Waste*) and thereafter certified by the Department of Public Health). Where dumpsters are used, Screen Class One (1), Two (2) or Three (3) shall be provided consistent with the requirements of §42-182 (Screen Classification).
- (8) Common Area Recreation and Service Facilities. Those facilities within the *campground* shall be for the sole purpose of serving the overnight guests in the *campground*, and shall adhere to the development standards established therefore in SR 4.6 (*Common Area Recreation and Service Facilities*).

Pictometry/Aerial Photography



2. **Current Conditions**

Current Use: This parcel is currently mixed use (retail/residential/agricultural).

Adjacent Area Uses/Zoning: The surrounding properties are residential and agricultural.

Map B: Current Zoning



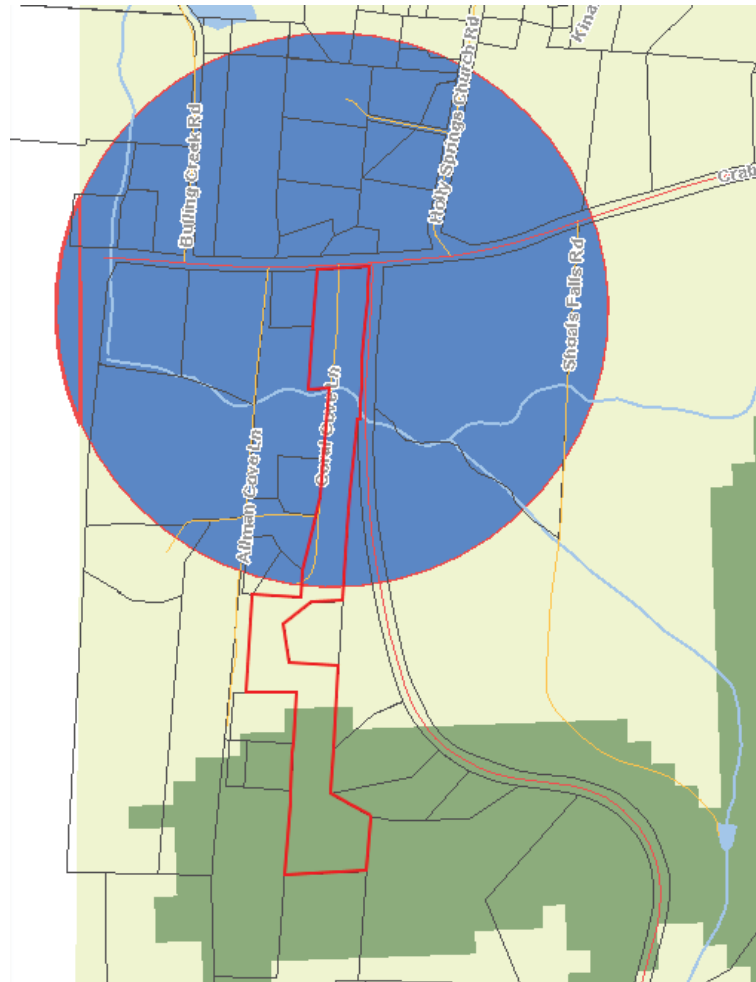
3. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

4. **Water and Sewer** This property is NOT served by public water and sewer.

Public Water: N/A

Public Sewer: N/A

Map C: CCP Future Land Use Map



5. Comprehensive Plan

The 2020 CCP: The CCP Future Land Use Map defines the area as a community service center. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

Community Service Centers:

Community Service Centers are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. *Community Service Centers* are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and *Community Facilities* such as schools, parks, community centers, and other similar *Community Facilities*. The mixture and intensity of land uses contained within *Community Service Centers* are intended to be appropriate within the context of the surrounding community and intended service area. *Community Service Centers* should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures.

6. Staff Recommendations

Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan and recommend approval of the special use permit because it is consistent with the current surrounding land uses and future land use recommendations.

7. **Photographs**



2016/08/17
15:26



2016/08/17
15:27



Harry's
Ditching Service, Inc.
Specializing in Water & Sewer Lines
Storm Drainage
PLUMBING & SEWER CONTRACTORS
← 692-5206 →

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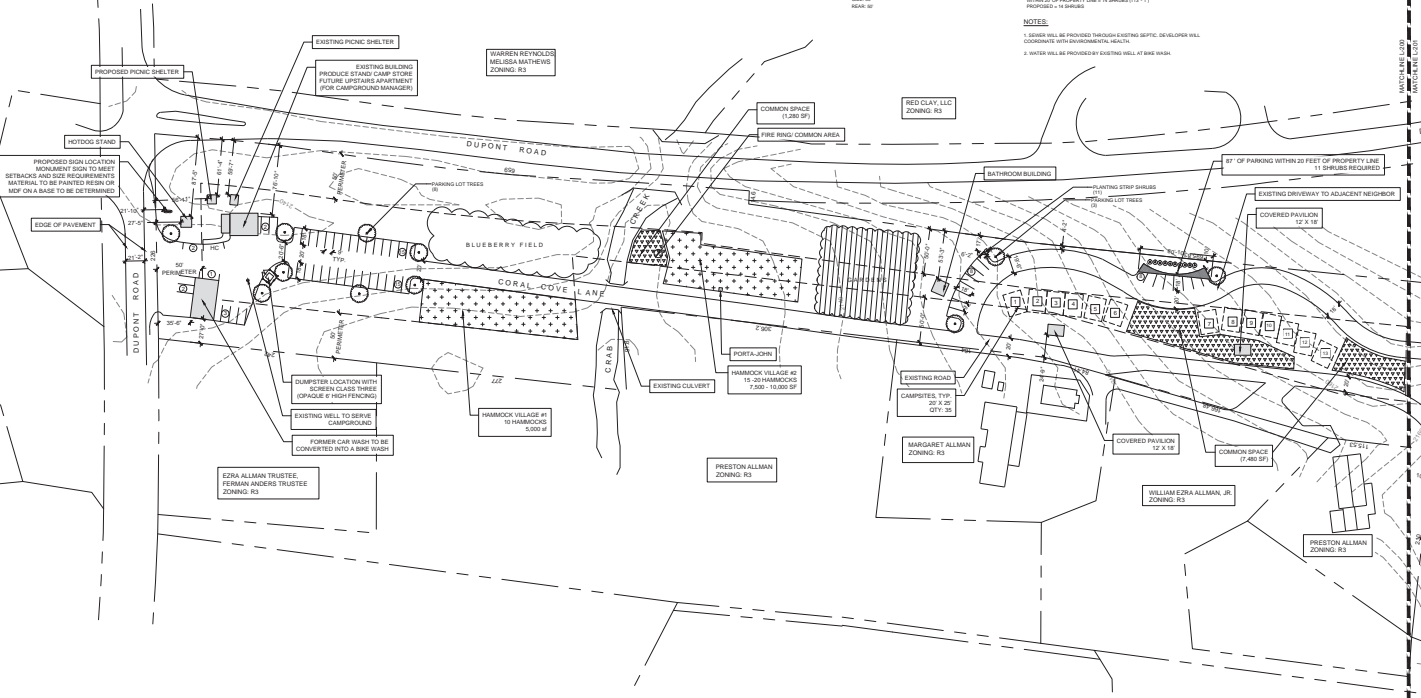
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OWNER
WILLIAM MCJALL
1580 ROSAMCK ROAD
MILL SPRING, NC 28756

DEVELOPER
FOGGY BOTTOM FARM AND CAMPGROUND, LLC
LORI AND PRESTON ALLMAN
298 CORAL COVE LANE
PENROSE, NC 28766
(828) 875-8441

CONTACT
MATT SPROUSE, PLA
SITEWORK STUDIOS, PLLC
303 DEPOT STREET, SUITE 120
ASHEVILLE, NC 28801
(828) 225-4545
msprouse@siteworkstudios.com

PROJECT ADDRESS/ INFO
21 CORAL COVE LANE
PENROSE, NC 28766
12.14 ACRES

ZONING
R-11 (RESIDENTIAL)

SETBACKS
FRONT: 30'-0"
SIDE: 30'-0"
REAR: 30'-0"

DEVELOPMENT SUMMARY
PROPOSED USE: CAMPGROUND

EXISTING UTILITIES
PROPOSED WATER SYSTEM: FUTURE CAMP
MANAGER APARTMENT; 1.000 SF
EXISTING WATER MAIN 18" DIA. @ APPROX 20' DIA. @ 100 SF
EXISTING POWER MAIN 6" DIA. @ APPROX 20' DIA. @ 100 SF
EXISTING SEWER MAIN 12" DIA. @ APPROX 20' DIA. @ 100 SF
EXISTING GAS MAIN 12" DIA. @ APPROX 20' DIA. @ 100 SF
EXISTING CABLE TV MAIN 12" DIA. @ APPROX 20' DIA. @ 100 SF
EXISTING FIBER OPTIC MAIN 12" DIA. @ APPROX 20' DIA. @ 100 SF
TOTAL BUILDING USES: 101,800 SF

COMMON AREA CALCULATION
TOTAL COMMON AREA: 101,800 SF
REQUIRED COMMON SPACE: 31,800 SF
PROPOSED COMMON SPACE: 31,800 SF

PARKING REQUIREMENTS
TOTAL REQUIRED: 100 SPACES
PROPOSED: 100 SPACES
TOTAL: 100 SPACES

LANDSCAPE REQUIREMENTS
PROPOSED: 1.000 PLANTS @ 12' SPACING @ 100' DIA.
PROPOSED: 1.000 PLANTS @ 12' SPACING @ 100' DIA.
TOTAL: 2.000 PLANTS

NOTES
1. SEWER WILL BE PROCESSED THROUGH EXISTING SEPTIC DEVELOPERS WILL
CONSULT WITH ENVIRONMENTAL AGENCIES.
2. WATER WILL BE PROCESSED BY EXISTING WELL AT BAKE WASH.



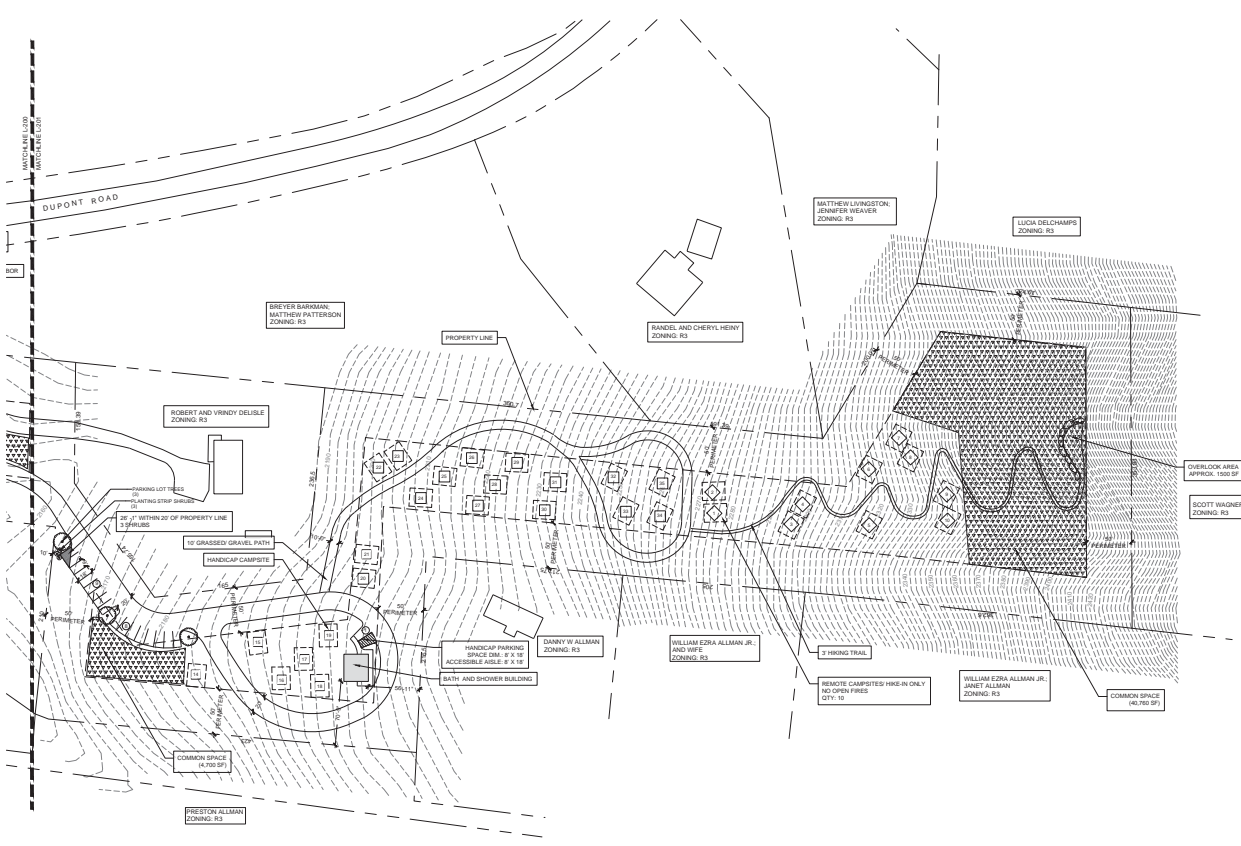
CONSULTANT
FOGGY BOTTOM FARM & CAMPGROUND
PREPARED FOR:
LORI AND PRESTON ALLMAN
ADDRESS: 21 CORAL COVE LANE
CITY: NORTH CAROLINA, ZIP: 28766

REVISIONS

NO.	REMARKS	DATE

DATE: 08.16.2016
SHEET TITLE:
SITE DEVELOPMENT PLAN
SHEET NO.
L-200

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CONSULTANT

FOGGY BOTTOM FARM & CAMPGROUND
 PREPARED FOR:
LORI AND PRESTON ALLMAN
 CITY, NORTH CAROLINA ZIP

NO.	REVISIONS	DATE

DATE: 08.16.2016
 SHEET TITLE:

SITE DEVELOPMENT PLAN
 SHEET NO. **L-201**

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